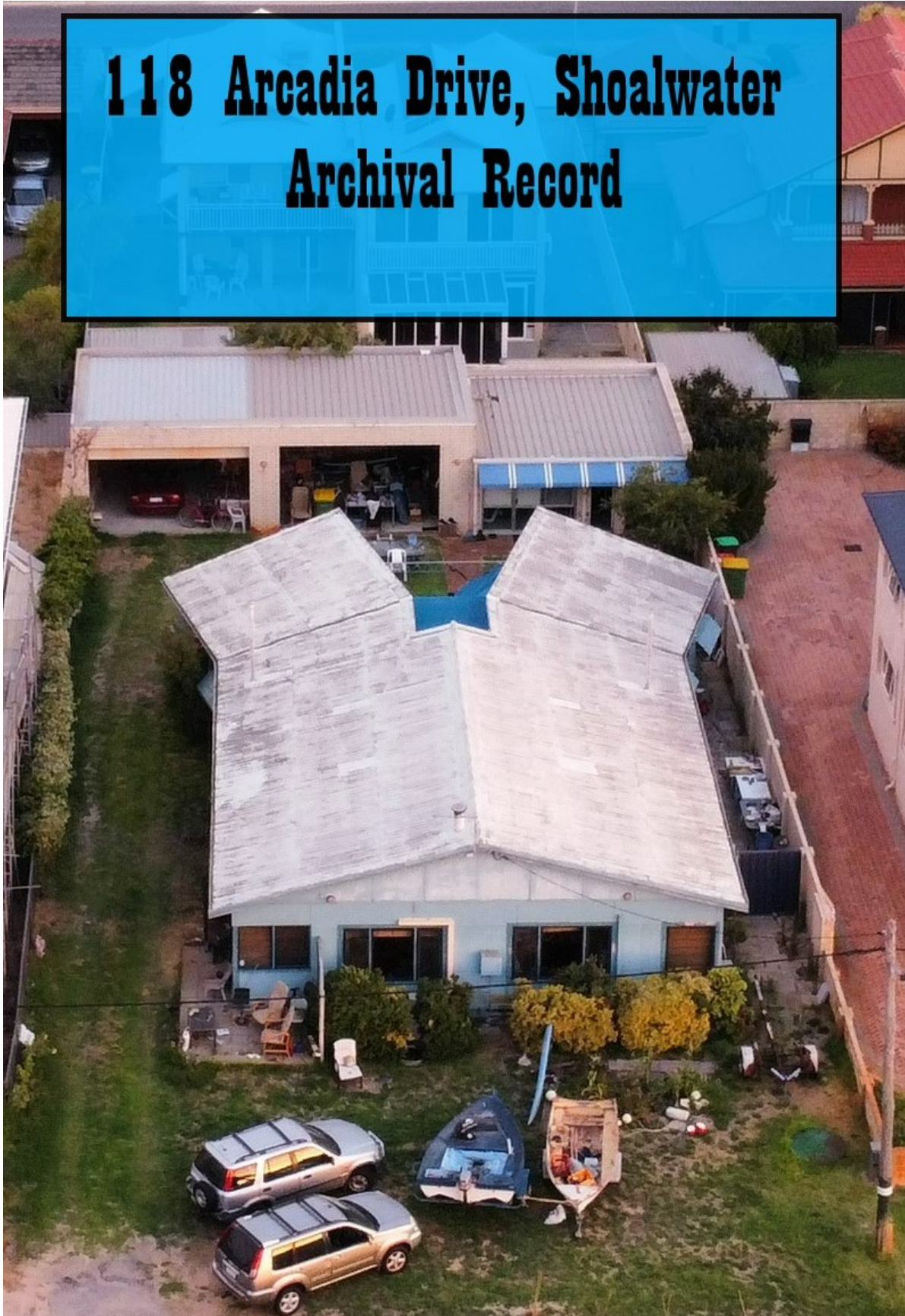


# 118 Arcadia Drive, Shoalwater Archival Record



June 2023

Prepared by: Alvaro Goncalves

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# 1 Background

The residence at 118 Arcadia Drive, Shoalwater, is a single storey house set back from the street in a large, open lawned garden, with no designated driveway.

The property is included as a Category C place on the City of Rockingham's Municipal Heritage Inventory, and is also included on the City's Heritage List adopted under the City's Town Planning Scheme No. A Category C demonstrating some cultural heritage significance.

As a place entered on the Heritage List, no. 118 Arcadia Avenue, Shoalwater is subject to the provisions of Planning Policy no. 3.3.21: Heritage Conservation and Development. The objectives of the planning policy include conservation and protection of places of cultural heritage significance and to ensure that development does not adversely affect the significance of these places. Demolition of heritage places is generally not supported by the City of Rockingham.

No. 118 Arcadia Drive, Shoalwater, is a 1960's timber frame with fibre cement cladding property of the Post War International architectural style. The place is in the suburb of Shoalwater which was subdivided for development from 1938 with the first developments largely being holiday homes. The subject property was a later development and was originally two separate residences that have subsequently been combined to form one residence.

The condition of the place is failing and due to the predominant building material being asbestos, the owners are seeking to demolish the place.

A Heritage Impact Statement has been prepared and submitted for the Council's consideration. The application for demolition was then considered both as part of the Council's development meeting in February and the Council's general meeting on March 2023.

This Archival Record has been prepared as a condition of the development approval issued by the City dated 2 March 2023 for the proposed demolition of the site.



## 2 Statement of Significance

The following Statement of Significance has been taken from the place record form for no. 118 Arcadia Drive, Shoalwater prepared for its entry into the City of Rockingham's Municipal Heritage Inventory, 2018.

- The place has aesthetic value as a simple demonstration of the Post War International style expressed in asbestos sheeting.
- The place has historic value for its association with the development of Shoalwater in the 1960s as a holiday destination.

### 2.1 Historical Notes:

Following World War Two Rockingham continued to develop as a popular tourist destination with the suburbs of Rockingham, Palm Beach and Safety Bay being well patronized by holidaymakers. The popular beaches not only attracted more visitors but also workers, settled in the area with their families as industrial sites began to be established in the region.

This area of Shoalwater was subdivided for residential settlement in 1938. The first developments were largely holiday homes with some permanent residents.

This residence appears to have been built c1960 although it is possible that a structure was on the site prior to this construction. It has not been established who was the original owner or occupant of this residence.

Aerial photographs indicate that the residence has not been significantly altered since the mid-20th century although other structures have been built at the rear of the lot.



### 3 Location Plan

No. 118 Arcadia Drive, Shoalwater is located at Lot 2 on Diagram 11034. The place is located on the west side of Arcadia Drive overlooking Lions Park and Shoalwater Beach.

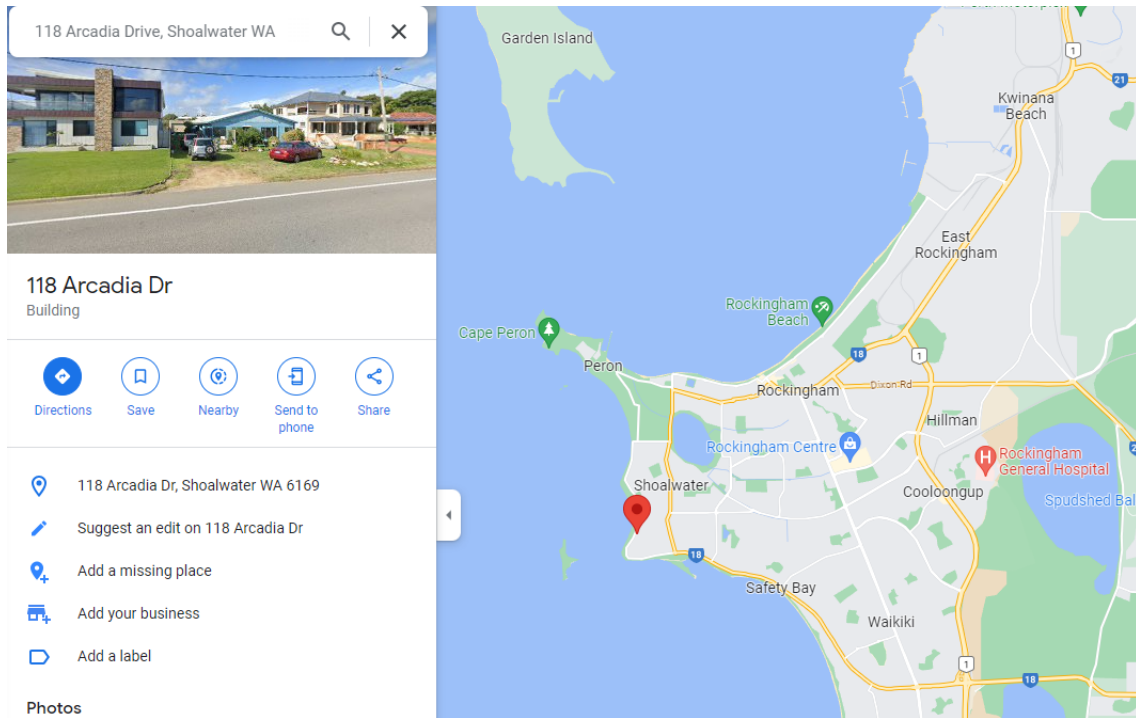


Figure 1: Location Map, no. 118 Arcadia Drive, Shoalwater  
Courtesy Google Maps, 2023



Figure 2 – View Looking South-East – Arcadia Drive

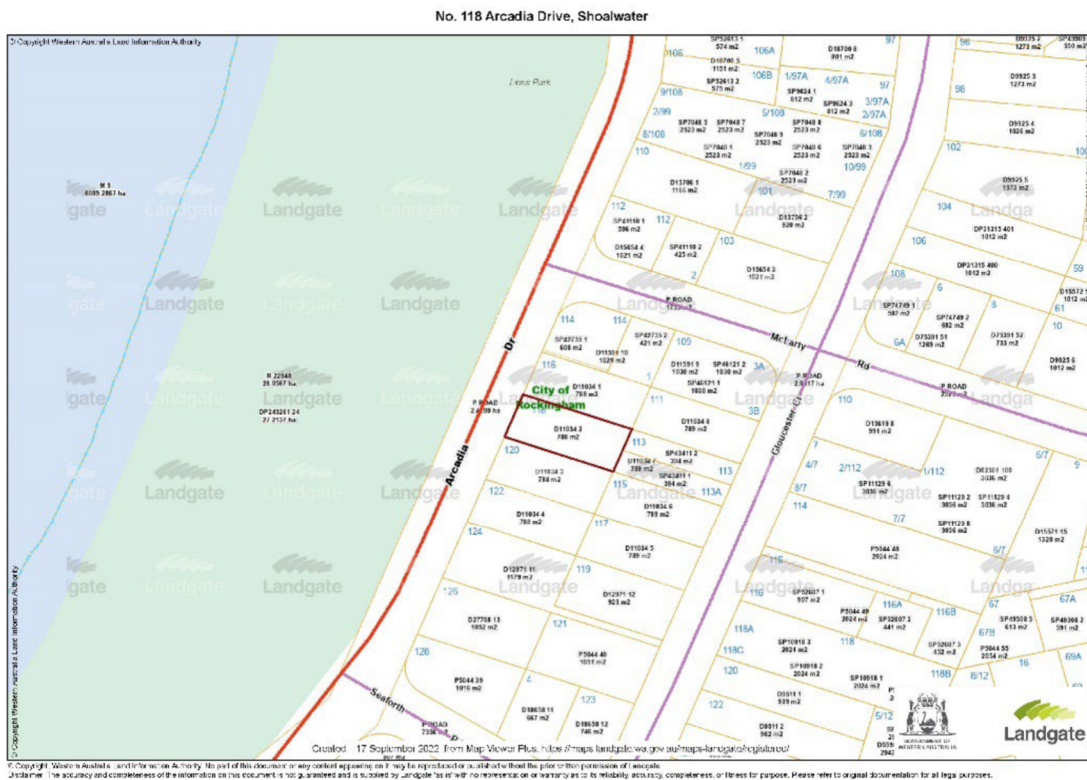


Figure 2: Cadastral Plan, no. 118 Arcadia Drive, Shoalwater  
 Courtesy Landgate, 2022



Figure 3: Aerial view of no. 118 Arcadia Drive, Shoalwater  
 Courtesy Nearmap, 2022

## 4 Heritage Listings

No. 118 Arcadia Drive, Shoalwater benefits from the following heritage listings:

Listing type	Status	Category	Date
State Register	-----	-----	-----
Heritage List – City of Rockingham	Adopted		24 April 2018
Municipal Heritage Inventory	Adopted	C	24 April 2018

The definition of management categories is set out in City of Rockingham's Planning Policy no. 3.3.21: Heritage Conservation and Development:

Category C     Some/Moderate Significance

Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the item.

Conservation of the place is desirable.

Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.

All works are to be supported by a detailed Heritage Impact Statement.

An Archival Record is to be prepared prior to any significant alterations to the place, in accordance with Heritage Council Standards.

The residence was added to the Rockingham Heritage Council list in December 2010 citing the Aesthetic and Historic value. The following two pages were taken from the Rockingham Municipal Heritage Inventory review, completed in 2018:

# Residence, 118 Arcadia Dr, Shoalwater

Place No: 86



SITE INFORMATION		
Place Name:	Residence, 118 Arcadia Dr	
Other Names:		
Street Address	118 Arcadia Drive	
Locality	Shoalwater	
Land Information:	Lot: 2	Diagram: 11034
	Reserve No:	C/T: 1891/595
GPS	32.301020°S 115.704350°E	

HERITAGE LISTING	
SHO inHerit database number	19940
City of Rockingham MI	Adopted: 14/12/2010
Other Listings	

PLACE TYPE	
Original Use:	Individual Building or group
Current Use:	Residential: Single Storey Residence
Other Use:	Residential: Single Storey Residence

<b>CONSTRUCTION DETAILS</b>	
Construction Date:	c1960
Walls:	Fibre Cement
Roof:	Metal: corrugated iron
Architectural Style	Post War International
<b>Physical Description:</b>	
Single storey house set back from the street in a large open lawned garden with no designated driveway.	
The main western elevation of the house is screened by mature shrubs, obscuring the beach views from the house. The walls are clad in blue painted fibre-cement and penetrated at regular intervals by timber framed windows that are shaded by individual awnings at the sides. The main entrance is on the western corner of the north wall with and is screened by a timber lattice to the northwest corner. A continuous metal awning with thick blue and white vertical stripes cover the length of the front elevation and wraps around both sides to one third of the length of the house. The gabled roof is clad in corrugated metal sheets with the rear one third of the building splaying slightly at both sides.	
Condition:	Fair
Integrity	High
Authenticity	High

<b>HISTORICAL INFORMATION</b>	
<b>Historical Notes:</b>	
Following World War Two Rockingham continued to develop as a popular tourist destination with the suburbs of Rockingham, Palm Beach and Safety Bay being well patronized by holidaymakers. The popular beaches not only attracted more visitors but also workers, settled in the area with their families as industrial sites began to be established in the region.	
This area of Shoalwater was subdivided for residential settlement in 1938. The first developments were largely holiday homes with some permanent residents.	
This residence appears to have been built c1960 although it is possible that a structure was on the site prior to this construction. It has not been established who was the original owner or occupant of this residence.	
Aerial photographs indicate that the residence has not been significantly altered since the mid 20th century although other structures have been built at the rear of the lot.	
Historic Theme:	Demographic Settlement and mobility: Land allocation and subdivision Demographic Settlement and mobility: Settlements
Associations:	
Sources:	City of Rockingham Municipal Heritage Inventory, Place Record Form September 2012. Landgate land information and aerial photographs.

<b>SIGNIFICANCE</b>	
Statement of Significance	<ul style="list-style-type: none"> <li>the place has aesthetic value as a simple demonstration of the post war style expressed in asbestos sheeting.</li> <li>the place has historic value for its association with the development of Shoalwater in the 1960s as a holiday destination.</li> </ul>
Level of Significance	<b>Some/Moderate</b>
Management Category	<b>C</b> Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the place. Conservation of the place is desirable. Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.

## 5 Description and Brief History



No. 118 Arcadia Drive, Shoalwater is a single storey timber framed and fibro clad house. The façade is dominated by a prominent gable beneath a low pitched corrugated asbestos roof. The gable has a panelled appearance and the eaves are lined with an ACM lining.

Below the gable, the façade is enlivened by a series of large aluminium framed windows. The entrance is around to the side elevation.

The building takes a standard symmetrical form to the façade, the majority of which is presently obscured by overgrown planting.

The dwelling was constructed in 1954 as two identical holiday villas. The original plan can be found in section 9 of this document. It is a hand drawn and details the measurements in imperial units. It shows an outdoor shower and WC for each unit with a common washhouse and two garages in the same building. These garages are no longer in the property.

A major renovation was conducted in 1985. The revised plans and specifications are also included in section 9 of this document. The alterations included:

- Construction of a new double garage at the rear of the property with a store and laundry attached to the same new brick building.
- Toilets were added to the main residence, attached to Bed 1 and Bed 6 respectively
- The main residence combined both units. The diving wall was removed, one kitchen was also removed and the other kitchen updated.
- Doors and windows were also upgraded to modern aluminium units
- The large aluminium awning that dominated the front elevation of the dwelling was damaged in a storm circa 2020, due to all the fasteners being rusty/eroded.



The side elevations are a mix of windows of different dimensions, some with metal clad awnings above and fibro panelled walls. None of the windows or doors are original.



The rear elevation is splayed with two projecting angled wings with double doors between the wings leading to the rear garden space.



Internally, the rooms have been opened up to create large open spaces with pine beams spanning the ceiling to provide structural support where walls have been removed. The building was originally two separate apartments which were incorporated into one residence. This has meant there has been considerable alteration to the internal spaces.

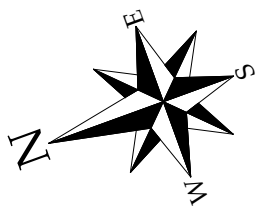
The internal walls are lined with fibro panels and the floors are wide jarrah boards.



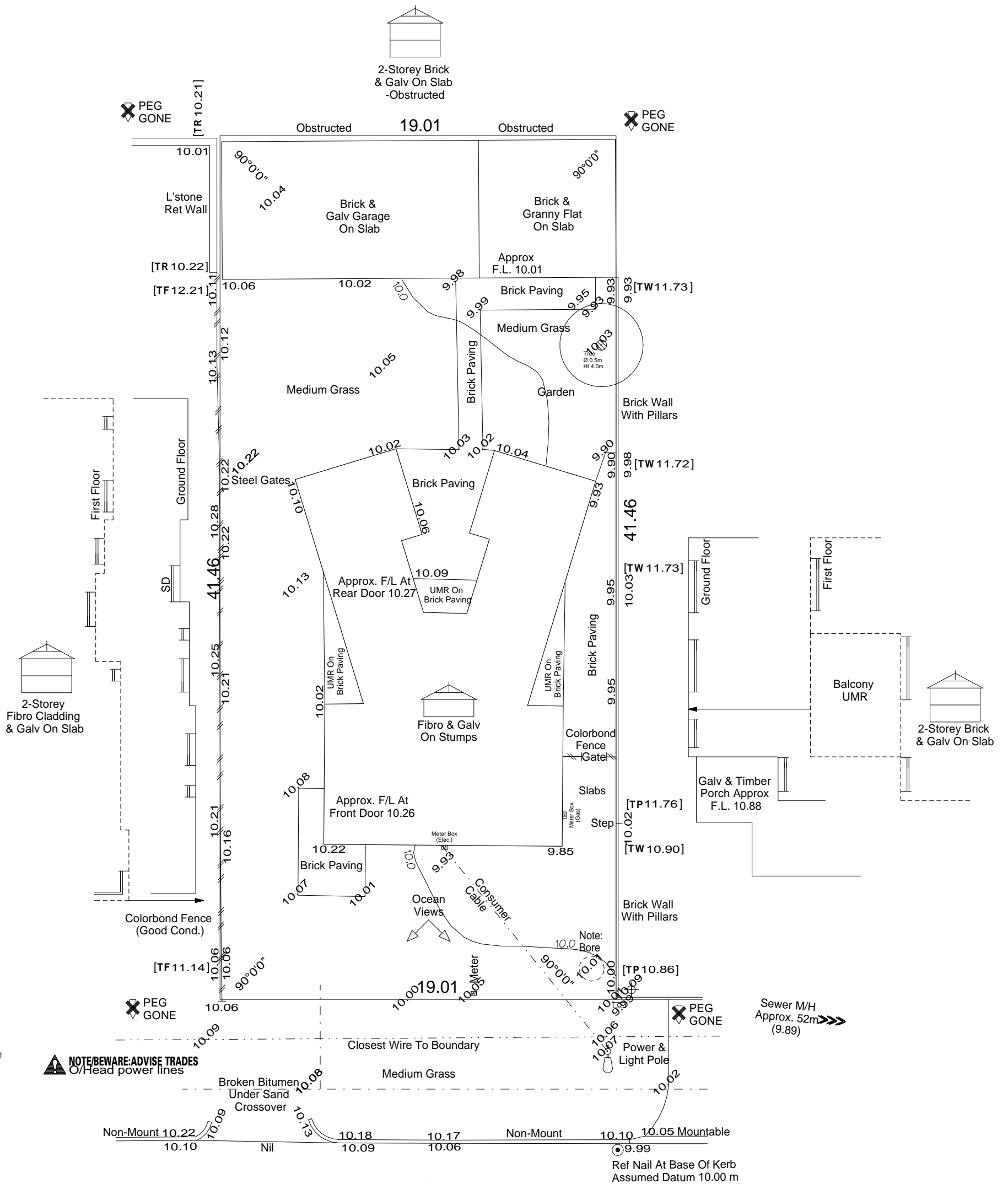
For a comprehensive photographic and video archive please see the attached folders.

# 6 Site Layout

The following page contains an up-to-date site survey of the existing dwelling and the additional garages constructed at rear of the home.



⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
⊕	Top Pillar/Post
[TP 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



**LOT MISCLOSE**  
0.000m

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

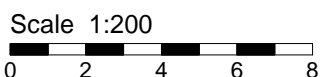
**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**NOTE/BEWARE: ADVISE TRADES**  
O/Head power lines

**Arcadia Drive**  
Bitumen

Sewer Junction  
In: 5.0 Up: 1.5  
Inv: 7.7 Depth: 0.8  
NOTE: UP



**COTTAGE SURVEYS**

87-89 Guthrie Street  
Osborne Park, WA 6017  
  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

<b>JOB #</b>	511967	<b>GPS</b>	Lat: -32.301056 Long: 115.704481
<b>ADDRESS</b>	#118 Arcadia Drive	<b>LOT</b>	Lot 2 (Diag. 11034)
<b>SUBURB</b>	Shoalwater	<b>AREA</b>	787m <sup>2</sup>
<b>LGA</b>	CITY OF ROCKINGHAM	<b>VOL.</b>	1891
<b>DRAWN</b>	J. Jee	<b>FOL.</b>	595
<b>DATE</b>	22 Oct 21	<b>SSA</b>	No

<b>ROADS</b>	Bitumen
<b>KERBS</b>	Non-Mount / Nil
<b>FOOTPATH</b>	Nil
<b>SOIL</b>	Sand
<b>DRAINAGE</b>	Good
<b>VEGETATION</b>	Light Grass Cover

<b>ELEC.</b>	U/Ground / O/Head
<b>COMMS.</b>	Yes
<b>WATER</b>	Yes
<b>GAS</b>	Check Alinta
<b>SEWER</b>	Yes
<b>COASTAL</b>	100m To Ocean (Approximate Only Confirm With Shire)

## 7 Copy of Title

WESTERN



AUSTRALIA

REGISTER NUMBER <b>2/D11034</b>	
DUPLICATE EDITION <b>1</b>	DATE DUPLICATE ISSUED <b>20/4/2017</b>

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **1891** FOLIO **595**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

**LAND DESCRIPTION:**

LOT 2 ON DIAGRAM 11034

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

MARCEL ASHER GOODMAN  
LYNNE GOODMAN  
BOTH OF 77 CORNWALL STREET, DIANELLA  
AS JOINT TENANTS

(T E502985 ) REGISTERED 5/12/1990

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1891-595 (2/D11034)  
PREVIOUS TITLE: 1062-44  
PROPERTY STREET ADDRESS: 118 ARCADIA DR, SHOALWATER.  
LOCAL GOVERNMENT AUTHORITY: CITY OF ROCKINGHAM

Transfer E502985  
Volume 1062 Folio 44

WESTERN



AUSTRALIA



1891 595

# CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 5th December, 1990

REGISTRAR OF TITLES



### ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Cockburn Sound Location 16 and being Lot 2 on Diagram 11034, delineated on the map in the Third Schedule hereto.

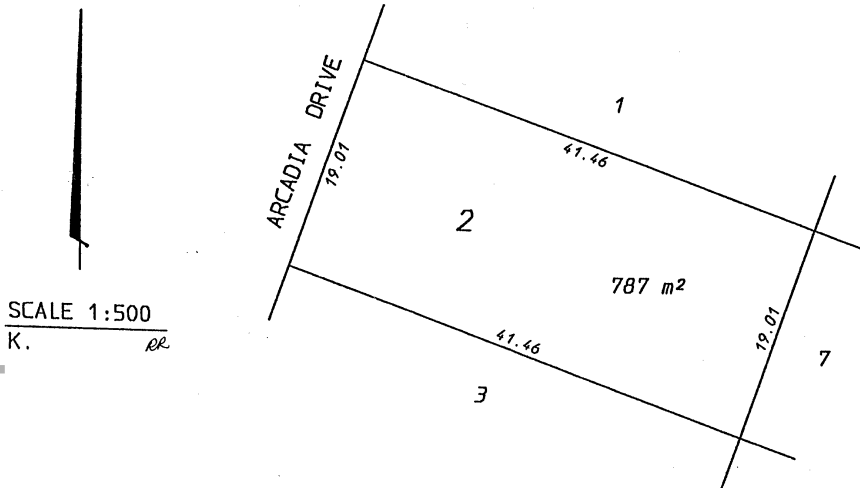
### FIRST SCHEDULE (continued overleaf)

Marcel Asher Goodman and Lynne Goodman both of 77 Cornwall Street, Dianella, as joint tenants.

### SECOND SCHEDULE (continued overleaf)

- MORTGAGE E502986 to Commonwealth Savings Bank of Australia. Registered 5.12.90 at 9.50 hrs.

### THIRD SCHEDULE



SCALE 1:500  
K. *RL*

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

E67590/3/89-20M-L/4664

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

Page 1 (of 2 pages)

1891 595

FOL.

VOL.

Superseded - Copy for Sketch Only

**FIRST SCHEDULE (continued)**

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

REGISTERED PROPRIETOR

Superseded - Copy for Sketch Only

INSTRUMENT NATURE		INSTRUMENT NUMBER	REGISTERED	TIME	SEAL	CERT. OFFICER

**SECOND SCHEDULE (continued)**

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

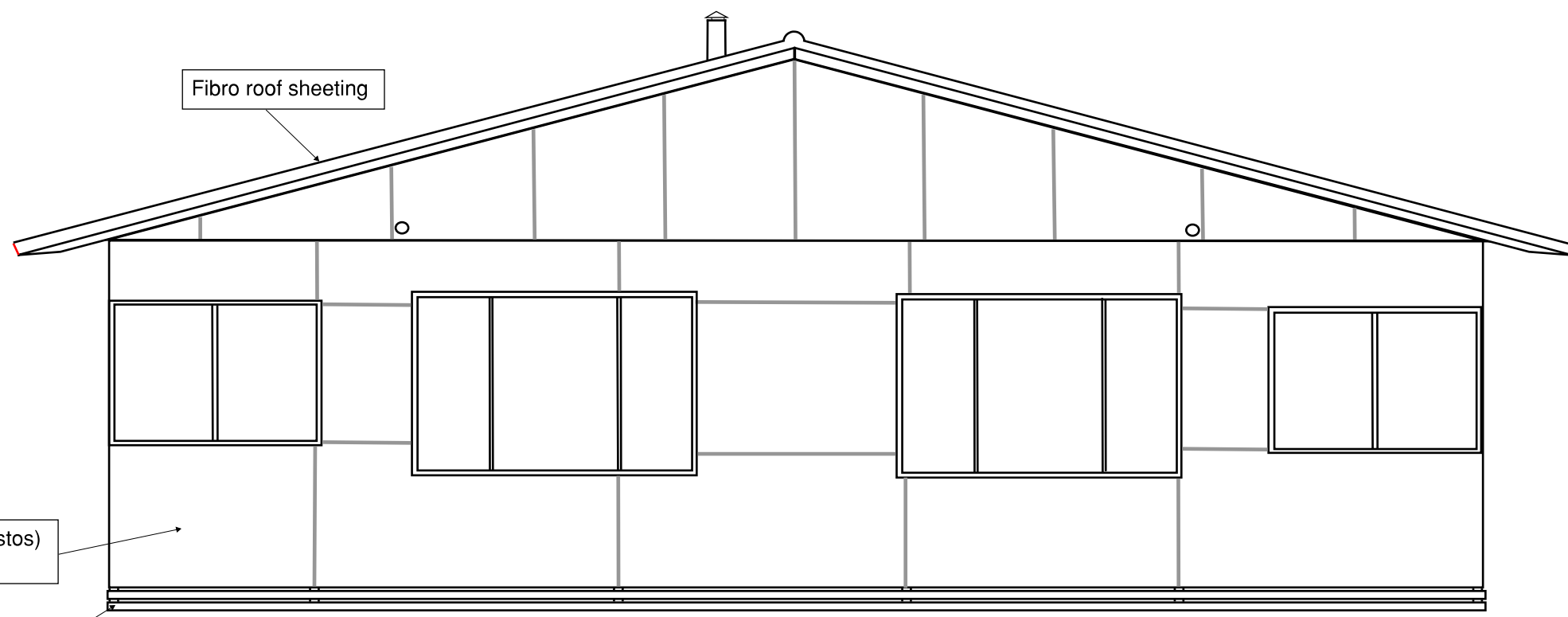
PARTICULARS

INSTRUMENT NATURE		INSTRUMENT NUMBER	REGISTERED	TIME	SEAL	CERT. OFFICER	CANCELLATION	NUMBER	REGISTERED OR LODGED	SEAL	CERT. OFFICER

CERTIFICATE OF TITLE VOL.1891 FOL595

# 8 Elevations

The following four (4) pages contain elevation drawings for the dwelling, drawn to scale.



Fibro (asbestos)  
Cladding

Stumps (timber)

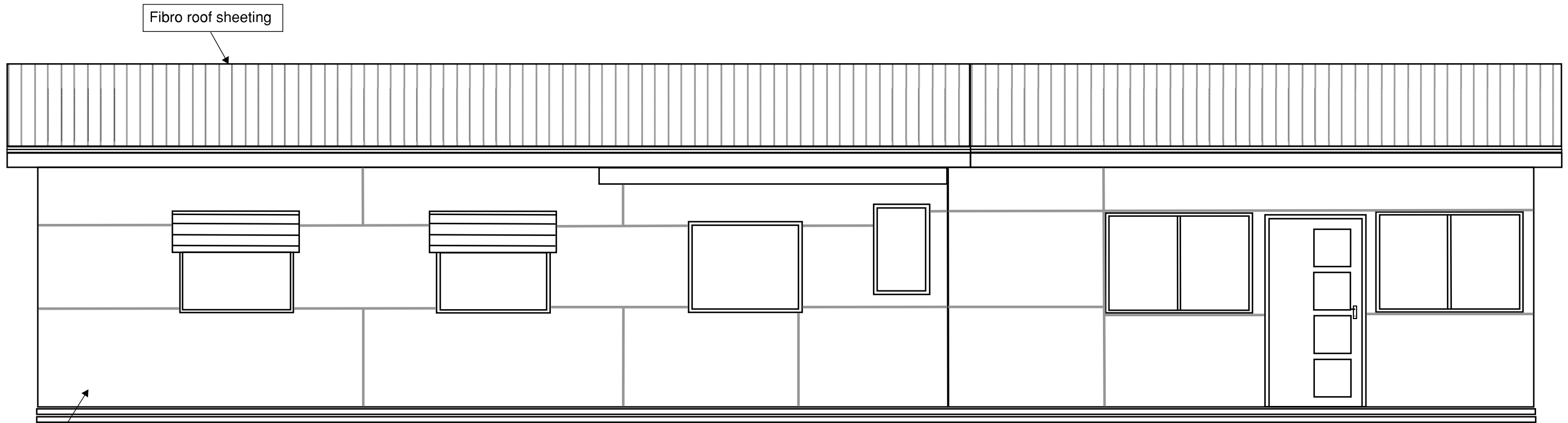
Fibro roof sheeting

118 Arcadia Drive, Shoalwater WA 6169

PROJECT	Archival Record	SCALE	50:1
TITLE	Front Elevation	AUTHOR	A. Goncalves
DATE	12/06/2023	REVISION	A

- A \_\_\_\_\_
- B \_\_\_\_\_
- C \_\_\_\_\_
- D \_\_\_\_\_

*A. Goncalves*  
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Fibro roof sheeting

Fibro (asbestos)  
Cladding

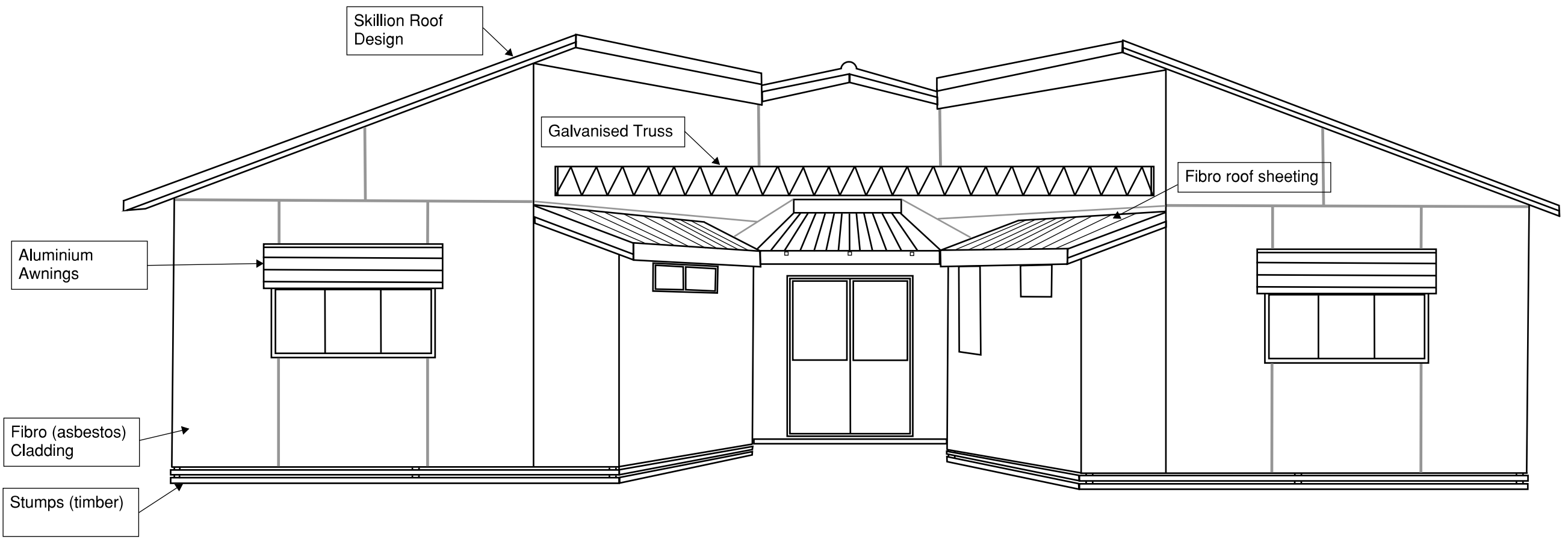
Stumps (timber)

### 118 Arcadia Drive, Shoalwater WA 6169

PROJECT	Archival Record	SCALE	50:1
TITLE	Side (North) Elevation	AUTHOR	A. Goncalves
DATE	30/04/2023	REVISION	A

A \_\_\_\_\_  
 B \_\_\_\_\_  
 C \_\_\_\_\_  
 D \_\_\_\_\_



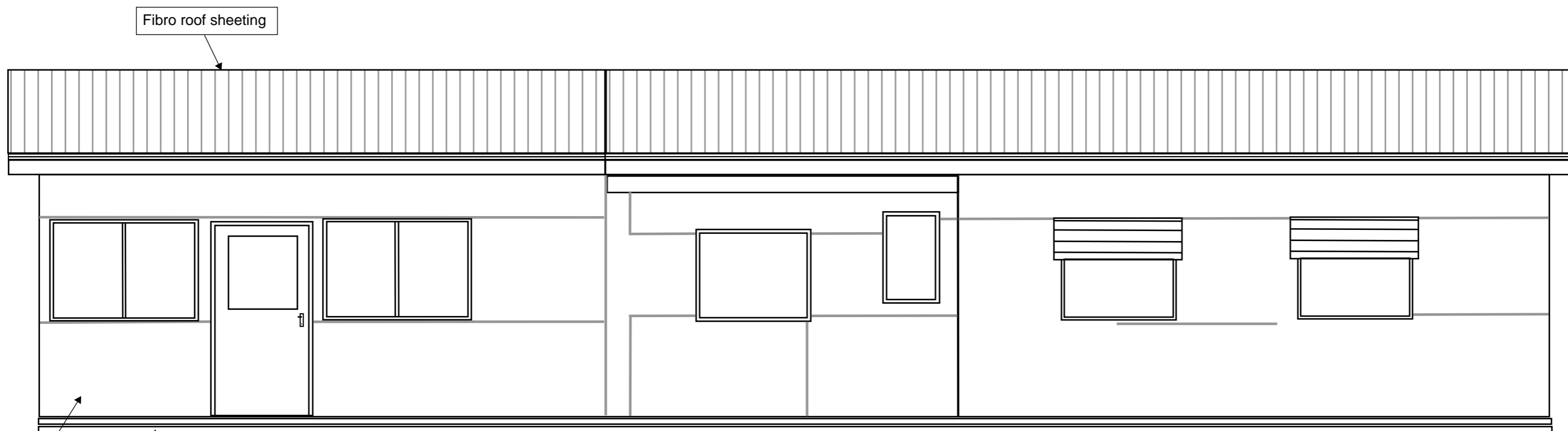


118 Arcadia Drive, Shoalwater WA 6169

PROJECT	Archival Record	SCALE	50:1
TITLE	Rear Elevation	AUTHOR	A. Goncalves
DATE	11/06/2023	REVISION	A

A \_\_\_\_\_  
 B \_\_\_\_\_  
 C \_\_\_\_\_  
 D \_\_\_\_\_

*A. Goncalves*  
Architectural Services Division  
 118 Arcadia Drive, Shoalwater WA 6169  
 Phone: 08 9437 1111



Fibro roof sheeting

Fibro (asbestos)  
Cladding

Stumps (timber)

118 Arcadia Drive, Shoalwater WA 6169

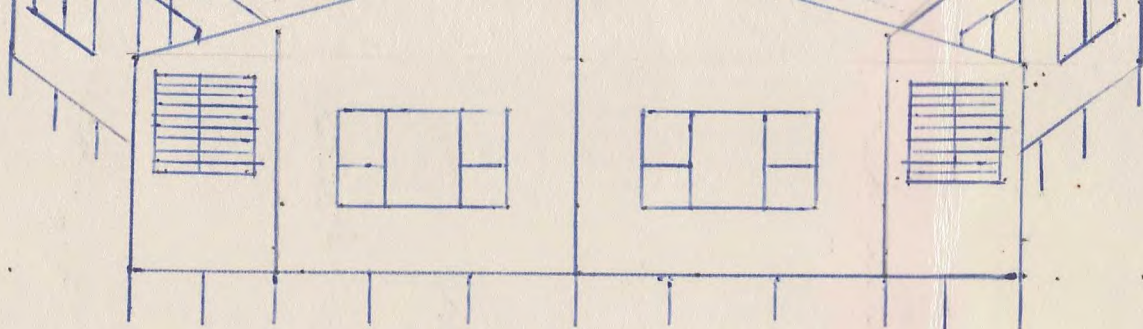
PROJECT	Archival Record	SCALE	50:1
TITLE	Side (South) Elevation	AUTHOR	A. Goncalves
DATE	30/04/2023	REVISION	A

A \_\_\_\_\_  
 B \_\_\_\_\_  
 C \_\_\_\_\_  
 D \_\_\_\_\_

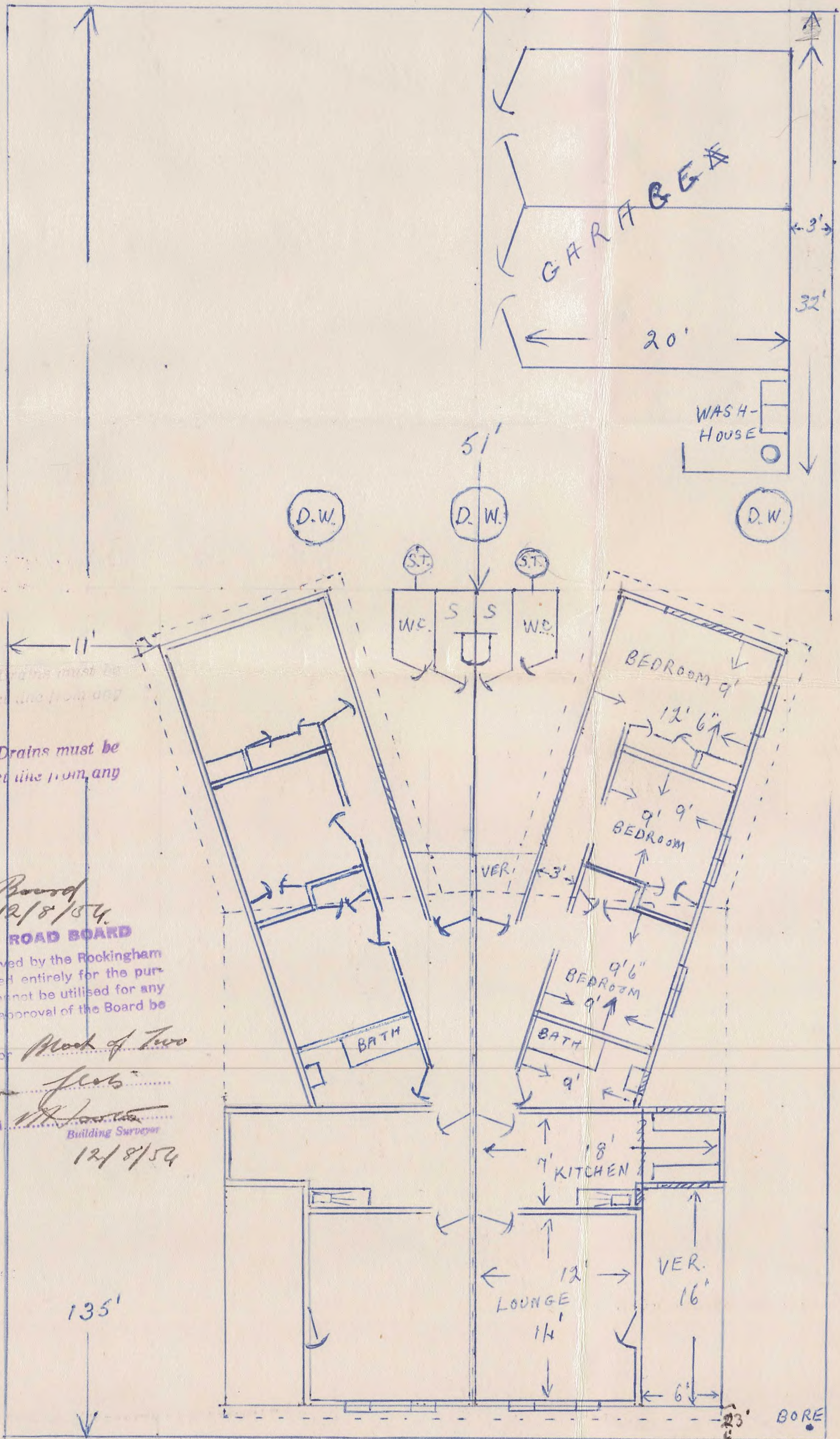
## 9 Existing Drawings

The following pages consist of the following documents and drawings

- a) Original floorplan and front elevation – 12/8/1954
- b) Original septic tanks locations – 1/12/1954
- c) Drawing showing the layout and construction for the addition of toilets to the dwelling, circa 1974
- d) MBA Specifications for the addition of the above toilets, circa 1974
- e) Drawing showing the elevations and layouts of the additional alterations to the dwelling, circa 1985, also showing detailing the floorplan of the dwelling
- f) Drawing showing the roof layout of the additional alterations, circa 1985, including the basic roof design and layout of the dwelling



FRONT



Soak Wells or French Drains must be at least 100 feet in direct line from any domestic water supply.

Soak Wells or French Drains must be at least 100 feet in direct line from any domestic water supply.

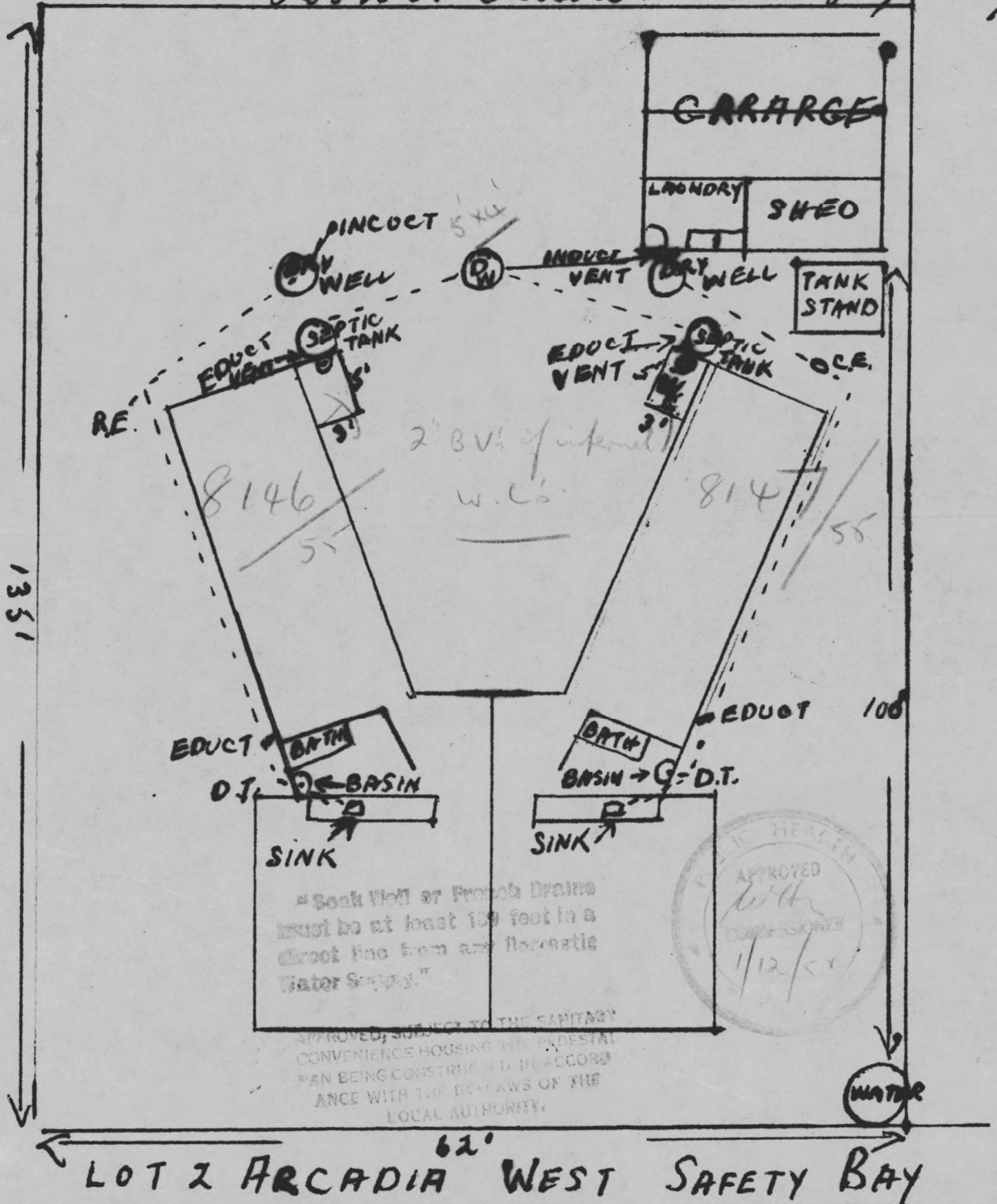
Approved By Board 12/8/54.  
**ROCKINGHAM ROAD BOARD**

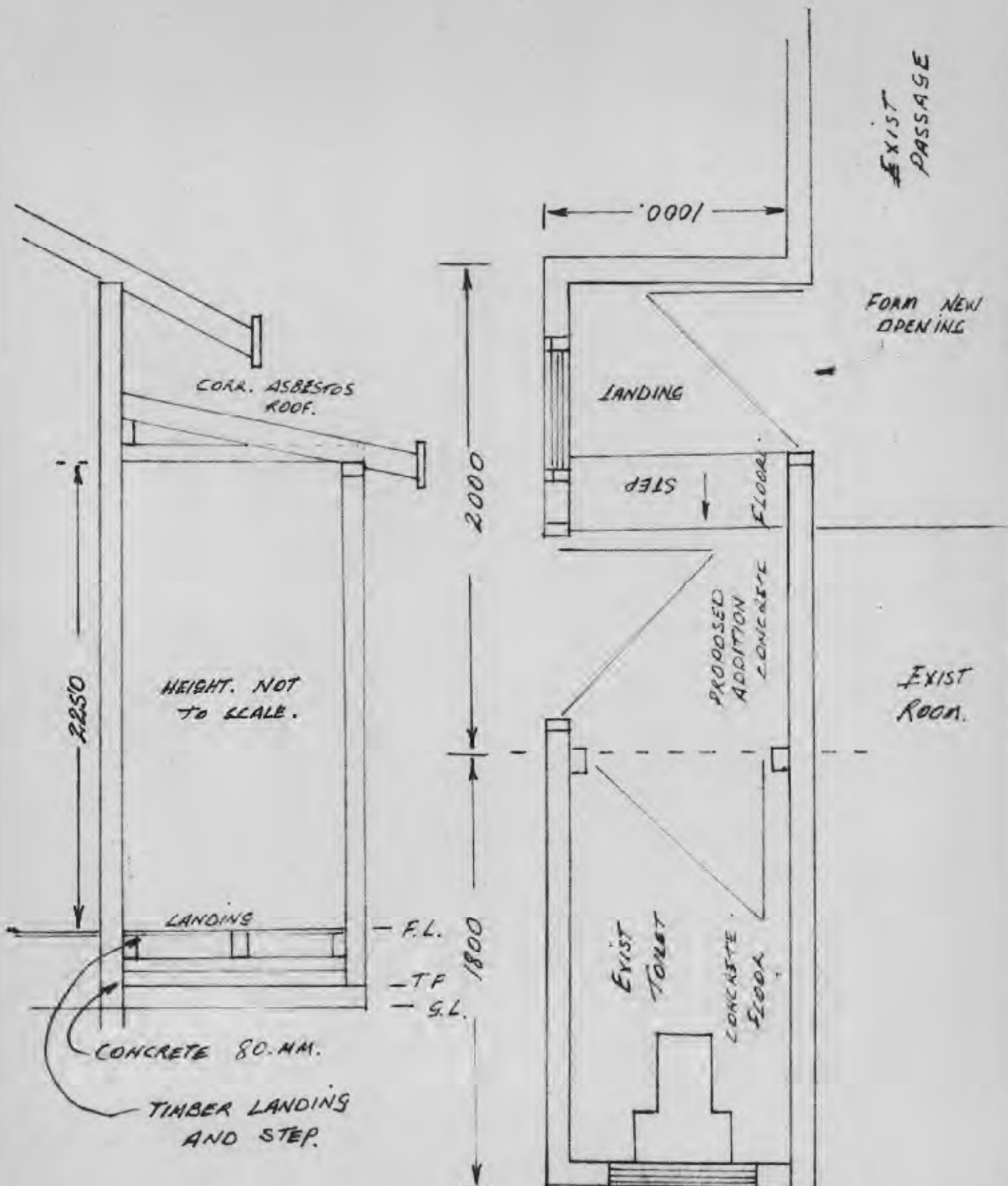
This building is approved by the Rockingham Road Board to be used entirely for the purpose enclosed and cannot be utilised for any other purpose unless approval of the Board be obtained.

Building to be used for *Block of Two*

*Timber frame flats*  
 Signed: *[Signature]*  
 Building Surveyor  
 12/8/54

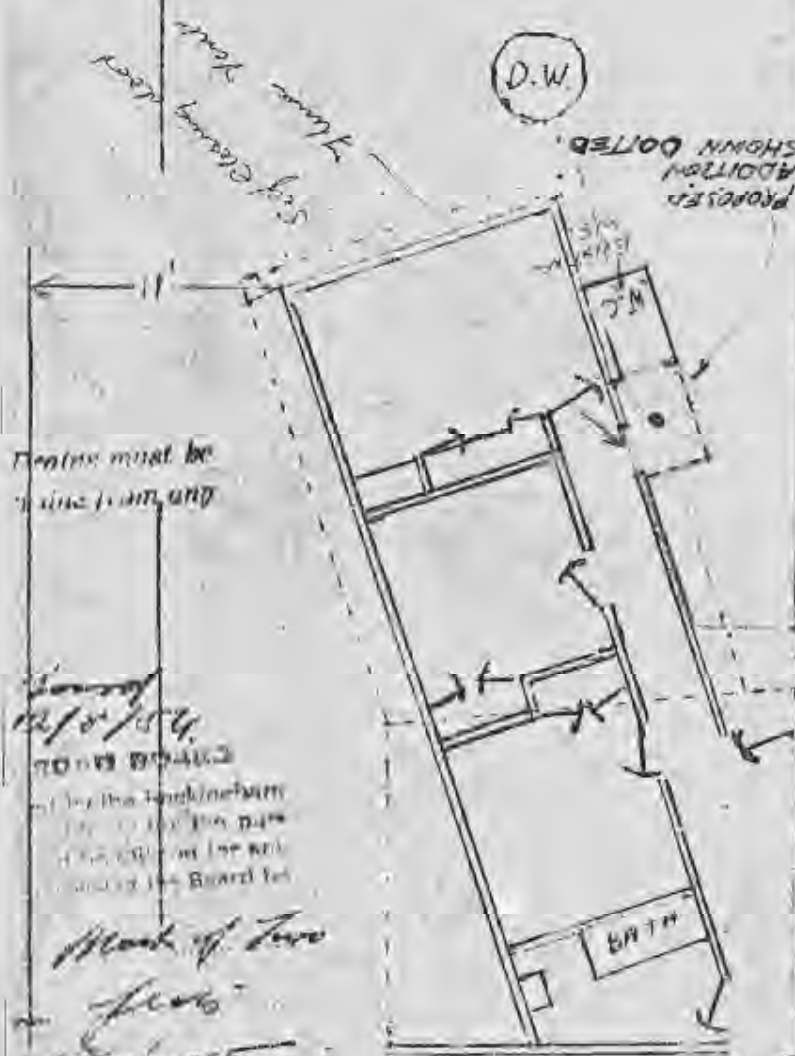
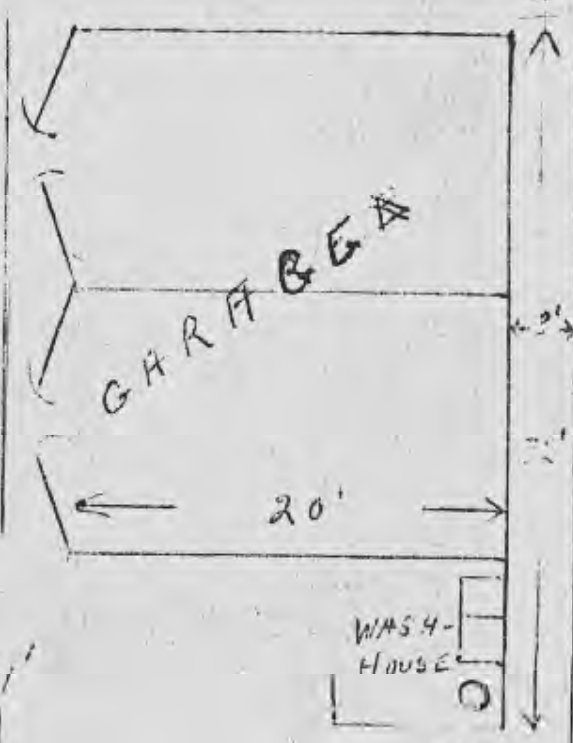
Septic Tank & Dry Well Installation  
 for A. & M. B. Clark at  
 Lot 2 Arcadia West Safety Bay





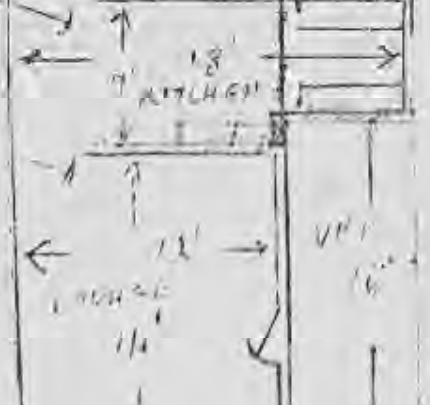
PROPOSED ALTERATIONS  
 TO EXTERNAL TOILET  
 118 ARCADIA DRIVE SHOALWATER BAY.

Scale  
 1-20.



12/8/54  
 12/8/54  
 Mark of Two  
 12/8/54

136' 1/2"  
 136' 3"



SHIRE OF ROCKINGHAM

*R. Blalme*

Senior Health Surveyor

13-10-78

**PLUMBING & DRAINAGE**

All fittings and drainage material to be tested at W.S. & D.D. ~~connections~~ and water pipes to be tested. All drainage to be tested from house fittings to disposal point. Sink Wells or soak Urns must have at least one yard from any domestic water supply. Soak Wells required on combined drainage systems.

**SHIRE OF ROCKINGHAM**

No portion of any building to be closer than 1200 mm from septic tank and 1800 mm from each drain.

**SHIRE OF ROCKINGHAM**

Plans must be submitted to M.W.S.B. & D. D. before commencing work.

**SHIRE OF ROCKINGHAM**

Approved subject to compliance with the Building and Health By-laws of the Rockingham Shire Council.

This building is to be used for addition to the existing garage and carport and any other purpose where approval of the Council has been obtained.

Building to be used for Addition

Form No. 555789

Rev. 6-60

*Blalme*

17.10.78



# STANDARD SPECIFICATION

## FOR BRICK CONSTRUCTION

PLACE COVERS IN POSITION AND STAPLE AFTER DETAILS INSERTED

SHIRE OF ROCKINGHAM  
UNIFORM BUILDING BY-LAWS 1974  
& AMENDMENTS, SHALL TAKE PRECEDENCE  
OVER ALL BUILDING SPECIFICATIONS.

Owners.. MRAWES B. RONE .....

Portion of.....Location.....

being Lot No.....on Plan.....

Certificate of Title Volume.....Folio.....

Situated in.. 118 DRACIA DRIVE SHOALWATER BAY. .....

Local Authority.....

UNAUTHORISED REPRODUCTION OF THIS  
DOCUMENT IN WHOLE OR IN PART IS  
AN INFRINGEMENT OF COPYRIGHT

A D D E N D A

The following is the list of items referred to in the Specification all of which must be completed or marked 'not applicable' (N/A) before signing.

ITEM REF:

**A. PRELIMINARIES**

A.4. Levels

Main floor level to be .....  
.....

A.7. Crossover

To be installed by

(a) The Builder

(b) The Proprietor

(Delete as appropriate).

**B. SITEWORKS**

B.1. Clearing .....  
.....

**D. CONCRETOR**

D.4. Granolithic

Grano Area .....

Colour required .....

D.9. Reinforcement of Drive or Carport Floor

.....  
.....

**E. METAL WORKER**

E.1. Clothes Hoist .....  
.....

E.5. Aluminium Windows or Doors

Type .....

Finish .....

Glass .....

Initials ...../.....

Date .....

E.6. Metal Door Frames .....

E.8. Roller Door  
Type .....  
Model .....  
Size .....  
Finish .....

F. BRICKWORK / BLOCKWORK

F.1. External Face Work .....  
Maker .....  
Surface Finish .....  
Colour .....  
Type of Joint .....  
Mortar Colour .....  
Feature Face Work .....  
Location .....  
Maker .....  
Surface Finish .....  
Colour .....  
Type of Joint .....  
Mortar Colour .....

Internal Bricks (Other than Face Work).

Maker .....  
Type .....

F.9. WINDOW SILLS  
Maker .....  
Surface Finish .....  
Colour .....

G to H CARPENTER & FIXING OUT

G.10. Fences  
a) To be erected by the Proprietor.  
b) To be erected by the Builder as follows:-  
.....  
.....  
(Delete (a) or (b) as appropriate).

Initials ...../.....  
Date .....

H.2. Sanding .....  
.....  
.....

H.6. Lounge Mantel .....  
.....  
.....

H.8. Skirtings  
Skirtings will NOT be required in the following locations:  
.....  
.....

H.9. Sill Linings  
Type .....

H.10. Special Trim .....  
.....  
.....

H.11. Door Furniture .....  
.....  
.....  
.....

H.13. Window Furniture .....  
.....  
.....  
.....

H.14. Towel Rail .....  
.....

H.15. Toilet Paper Holder .....  
.....

H.16. Flywire Doors .....  
.....  
.....

H.17. Flyscreens to Windows .....  
.....  
.....

**I. JOINER**

I. 2. Timber door frames and Thresholds .....  
.....

Initials ...../  
Date .....

I. 5. Doors .....

I. 6. Cupboards .....

I. 7. Built-in Wardrobes .....

I. 8. Vanity Bar .....

I. 9. Bathroom Cabinet .....

I. 10. Linen / Pantry etc. ....

J. ROOFER

J.1. to J.6. Roof Covering to be:-

Material .....
Manufacturer .....
Pattern or Profile .....
Sarking .....

K. ROOF PLUMBER

K.1. Gutters .....

Initials ...../.....
Date .....

K.3. Sumps .....  
.....  
.....

L. SANITARY PLUMBER

L.3. Drainage .....  
.....  
.....

L.5. Leach Drain .....  
.....  
.....

L.6. Pedestal & Seat  
Type .....  
Colour .....

L.7. Cistern  
Type .....  
Colour .....

L.8. Bath  
Type .....  
Colour .....

L.9. Basin / Vanity  
Type .....  
Colour .....

L.10. Sink and Drainer  
Type .....  
.....

L.11. Wash Trough  
Type .....  
.....

L.13. Hot Water System  
Make .....  
Model .....  
Fuel .....  
Points .....  
.....

Initials ...../  
Date .....

L.14. Taps  
Make / Colour .....

M. PLASTERER & TILER

M.1. Finishes Required .....

M.4. Ceilings .....

M.5. Wall Tiling .....  
(PRIME COST PER SQUARE METRE \$.....)

Floor Tiling .....  
(PRIME COST PER SQUARE METRE \$.....)

N. ELECTRICIAN

N.4. Single Power Points (No) .....  
Double Power Points (No) .....

Initials ...../.....

Date .....

N.5. Lighting Points (No) .....  
.....  
Two-way Switching .....  
.....  
.....

N.6. Exhaust Fan / Range Hood  
Size .....  
Type .....  
.....

N.7. Electric Stove  
Type .....  
Make .....  
.....

N.8. Hot Water Unit  
Refer Plumber at L.13.

N.11. Three Phase Supply .....  
.....  
.....

O. GAS FITTER

O.3. Appliances and Flues  
.....  
.....  
.....  
.....

P. GLAZIER

P.3. Other Glazing - detail  
.....  
.....  
.....

P.4. Mirrors .....  
.....

P.5. Shower Screen .....  
.....  
.....

Initials...../.....  
Date.....

**Q. PAINTER**

External

Q.5. Woodwork .....

Q.6. Metalwork .....

Q.7. Brickwork .....

Q.8. Asbestos Cement .....

Internal

Q.9. Woodwork .....

Q.10. Clear Finish .....

Q.11. Brickwork .....

Q.12. Ceilings .....

Q.13. Walls .....

**R. THERMAL INSULATION**

R.1. Material .....

Initials...../.....

Date.....

A - PRELIMINARIES

A1. (a) This specification describes fair and reasonable requirements for brick house construction. Reference should be made to the Addenda for a correct interpretation of the requirements for this Particular Contract in conjunction with all other Contract documents.

(b) The following work shown on the drawings and/or specified is not included in this contract but shall be the responsibility of the Proprietor.

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.....  
.....

A2. MATERIALS

All materials shall be new, of good quality and conform to what is specified and are to be supplied by the Builder or his sub-contractors.

A3. LABOUR AND PLANT

The builder will supply either directly or through his sub-contractors all labour and plant necessary to complete the works. Skilled labour shall be employed in all trades to provide the specified finishes.

A4. MEASUREMENT

All measurements throughout this specification and shown on the contract drawings are nominal only in every respect. The height of the main floor level shall be as indicated in the Addenda.

A5. VISIT SITE

The builder is deemed to have visited the site and acquainted himself with all visible site conditions and access to the site.

A6. CONDITIONS OF CONTRACT

The work shall be carried out under the Conditions as set out in contracts approved by the respective Lending Authority.

A7. CROSSOVER

A crossover in accordance with the requirements of the Local Authority shall be installed as shown on the drawings, and as stated in the Addenda.

A8. SANITARY ACCOMMODATION

The builder shall provide and maintain temporary sanitary accommodation during the construction of the Works as required by the Health Act of Western Australia.

A9. EARTHQUAKE ZONES

Details of construction shall conform with Local Government recommendations and requirements as currently gazetted.

A10. CYCLONE AREAS

Details of construction shall conform with Local Government recommendations and requirements as currently gazetted.

A11. COMPLETION

At completion the whole site shall be cleared of surplus building material. The house shall be thoroughly cleaned out, floors cleaned and swept, glass cleaned, so that it is fit for immediate occupation. All gutters are to be cleaned out. Windows and doors to be eased as necessary.

B - SITE WORKS

B1. CLEARING

The areas to be occupied by the building and for a distance of 1800mm clear of the building or to the boundaries of the allotment whichever is less shall be cleared by the Builder unless otherwise stated in the Addenda.

Where trees occur in the area which lies between that occupied by the building and the area stated above, they shall be felled and all stumps and roots grubbed out and carted away from the site. Any other trees which are considered by the appropriate Authority to be a hazard shall be lopped or removed by the Builder as necessary and the cost of so doing shall be the responsibility of the Proprietor and recovered in terms of the Contract as a variation.

B2. EXCAVATION

Cut and level where necessary under suspended timber floors to provide a minimum clearance of 300mm under floor joists. Excavate for all piers drains, stumps etc. and backfill as necessary. Excavations for all footings shall have level bottoms, stepped as required and taken to even bearing. Inspection of the trenches by the Local Authority may disclose the necessity for varying the footing design. Any additional cost shall be the responsibility of the Proprietor and recovered in terms of the Contract as a variation.

B3. TERMITE TREATMENT

Treatment for termites shall be carried out in accordance with the requirements of the Uniform Building By-Laws.

B4. FILLING

All holes formed in course of the Work or in clearing the site of obstructions shall be filled with earth and finished level with the surrounding surface. Where filling below concrete floor slabs is required the Builder shall provide and thoroughly compact such fill.

B5. COMPACTION

Compaction of foundations for raft floors must be to the requirements of the Local Authority. When requested by the Lending Authority a copy of the Compaction Certificate shall be supplied by the Builder.

C - STONEMASON

C1. FOOTINGS AND FOUNDATION WALLS

Where footings and foundation walls are to be constructed of sandstone the stone shall be of good quality and workmanship of a good trade standard. Footings and foundations shall be in squared random work where visible and random rubble elsewhere. Large flat through stones no more than 300mm thick are to be used for the bottom and top of the work and every 1200mm centres both vertically and horizontally, elsewhere.

Except where otherwise shown on the drawing or specified footings shall be 400mm minimum width under 230mm and 270mm walls and 300mm minimum width under 110mm walls. No footing shall be less than 300mm below the natural or finished ground level. The corners to all external walls below ground shall be increased in width a minimum of 125mm so as to project beyond the face of the wall for a distance of 750mm from each corner. Openings by sub-floor ventilation are to be left between each room and doorway. Where stone foundations form walls to a garage or room under the residence the internal finish shall be squared random. Where timber floors are specified minimum 500mm wide openings shall be provided for human access.

D - CONCRETOR

D1. GENERAL

All mixing and placing of concrete shall be of a good trade standard. Concrete may be supplied by a pre-mix supply company. All concrete is to be placed and finished immediately it is either sitemixed or delivered. Ready-mixed concrete shall be in accordance with AS1379.

D2. DESIGN STRENGTH

All concrete shall have a minimum 28 days cylinder strength under test of 15 MPa. The slump of fresh concrete shall be more than 80mm. Ingredients are to be clean and free from recognised impurities. Where structural elements are indicated on the drawings or otherwise required concrete shall be in accordance with the Engineer's design requirements. Ready-mixed concrete shall also comply with the requirements of AS1379 for mixing and delivery.

D3. PLACING

Concrete shall be placed in such a manner as to avoid segregation and shall be adequately compacted by rodding, spading, mechanical vibration or any recognised means. Footings fully set in the ground shall not be disturbed for 48 hours after placing of concrete and exposed footings and slabs for seven (7) days before being built upon where concrete of 15 MPa has been used. In cases where concrete having a design strength of not less than 20 MPa has been used the period may be reduced to three (3) days.

D4. GRANOLITHIC

Where shown on drawings granolithic finishes to driveways, paths, carports etc. shall be natural cement finish unless otherwise stated in the Addenda.

D5. FOOTINGS

These will be of the types as follows, in accordance with Local Authority requirements and Structural Engineer's details where necessary.

a) Reinforced Concrete Footings.

For use in sandy gravelly soils. Under 230mm and 270 mm walls, footings shall be 450mm wide and 250mm deep reinforced with TM 8 Trench mesh.

Under 110mm walls footings shall be 300mm wide x 250mm deep with TM 8 Trench mesh. Steel is to have 50mm cover of concrete in each direction.

b) Unreinforced Concrete Footings.

For use in firm dry sand. To be a minimum of 450mm wide and 250mm deep for 270mm wide walls, and 300mm wide and 250mm deep for 90mm walls.

c) Clay Soils.

To Engineer's detail.

D6. FLOORS (ISOLATED)

Where shown or required lay minimum 75mm finished thickness of concrete trowelled to an even finish or 65mm of concrete with 10mm of granolithic topping trowelled to an even finish as the case may require.

D7. RAFT FLOORS

a) Raft foundation slabs are to be constructed in accordance with the provisions of the Uniform Building By-laws.

b) Before floors are laid, treatment against termites shall be carried out in accordance with the provisions of the Uniform Building By-laws.

D8. PATH

Where shown on drawings and generally as specified for concrete floors, and 75mm thick laid in sections with a groove every 2700mm maximum. No waterproof membrane or reinforcement shall be required.

D9. DRIVE, GARAGE OR CARPORT FLOORS

Concrete shall be as specified for concrete floors and be 100mm in thickness poured monolithically, laid in sections with a groove every 2700mm maximum.

Where a reinforced drive or garage or carport floor is required by the Addenda the base to be thoroughly compacted.

D10. SUSPENDED CONCRETE FLOORS

A Structural Engineer's Design is required for all suspended concrete floors.

E - METAL WORKER

E1. CLOTHES HOIST

Provided and erect clothes hoist of the size, make and model stated in the Addenda.

E2. COLUMNS

When columns are shown they shall be either rectangular section steel tube or galvanised wrought iron pipe of size as shown on Plan.

Where timber beams are required, they will be secured to the columns in a durable and workmanlike manner.

- E3. WROUGHT IRON HANDRAIL  
Where required by the Uniform Building By-Laws, provide handrail to detail shown on drawings.
- E4. CORNER WINDOW SUPPORTS  
Walling over corner windows to be supported on 50mm external diameter galvanised W1 pipe columns with 10mm plates welded at the top to support angle irons. Bottom of columns to sit over a 10mm plate with spigot welded onto it placed diagonally across the corner of the outer leaf, mitred to suit, and bearing 60mm minimum at each end. Bottom plate is to be located two courses below window sill.
- E5. ALUMINIUM WINDOWS OR DOORS  
Aluminium windows or doors as shown on the drawings shall be supplied and installed and glazed in accordance with manufacturer's instructions and shall be of the type and finish stated in the Addenda.
- E6. METAL DOOR FRAMES  
Where metal door frames are stated in the Addenda, instal in accordance with manufacturer's recommendations.
- E7. ELECTRIC / GAS CABINET  
To be standard metal cabinet located as shown on drawing and in accordance with Supply Authority regulations.
- E8. ROLLER DOOR  
Hang roller door or tilting door to opening(s) shown on drawings in accordance with manufacturer's instructions, of the model, type and size indicated in the Addenda.

#### F - BRICKWORK / BLOCKWORK

- F1. GENERALLY  
Bricks and/or blocks shall be of even shape and size and of the colour and types indicated in the Addenda.
- F2. MORTAR MIXES
- a) Cement mortar - 1 part cement, 1/10th part hydrated lime, or lime putty, 3 parts sand.
  - b) Compo mortar - 1 part cement, 2 parts hydrated lime or lime putty, 9 parts sand.
  - c) Masonry mortar - 1 part masonry cement, 4 parts sand.
- Mortar admixtures for colouring or other purposes shall be used strictly in accordance with manufacturer's instructions.
- F3. BONDING  
At intersections of walls, bonding shall be in accordance with the brickwork code with at least 1 course in 4 bonded in, or, when walls are not built up at the same time, block bonding with a maximum of 3 courses in each direction alternately for the full height of the wall.
- F4. LAYING  
Joints in facework shall be 10mm wide subject to acceptable tolerances and brickwork shall be laid using one of the mortars described in F2. above, other than work which is in contact with the soil when cement mortar shall be used.
- F5. DAMPCOURSE  
Masonry work shall have a continuous dampcourse of a durable impervious material in accordance with Uniform Building By-Laws.
- F6. SUB-FLOOR VENTILATION  
Where the lowest floor of the building is constructed clear of the ground the space between the bottom of the bearers and the ground immediately below shall not be less than 200mm and shall be ventilated.

a) By openings in the external walls properly protected by rat-proof air-bricks or gratings of sufficient size to provide a net minimum ventilating area of 2100sq. mm per metre run of external wall; and

b) By openings in the internal base walls of a net minimum area of 4000sq. mm per metre run of base walls.

The openings to be arranged to permit circulation of air beneath the whole of the flooring. In all cases openings for human access shall be provided and shall be a minimum of 500mm wide.

F7. PIERS

Bearers throughout are to have piers of sound brickwork at centres necessary to suit bearer layout.

F8. LINTELS

Masonry openings not otherwise specified shall be supported in accordance with the Uniform Building By-Laws.

F9. WINDOW SILLS

Brick or tile sills to be set in compo or masonry mortar and to the detail shown in the Addenda.

F10. BATHRISER

Build up 76m brick-on-edge wall under exposed edges of bath.

F11. STEPS

Front and rear steps, unless otherwise shown on plan, to be 950mm wide with minimum 225mm treads and rise not exceeding 190mm.

F12. METER BOX

Build in a meter box to supply Authority requirements in the position as shown on the drawings.

F13. FIREPLACES

Where shown on the drawing form fireplace opening to size and detail indicated. Build opening to form throat and gather over to flue of not less than 230mm x 230mm. Flue to be parged as it is carried up, breaking light at least once. Unless otherwise indicated on drawings, stack to be carried up four courses above ridge line with lead tray built in above roof level and weeps left in vertical perp joints. Feature fireplaces to accommodate gas, oil, or similar appliances to be formed without throat or flue and up to ceiling height only.

F14. MAKING GOOD AND CLEANING UP

Make good, point up around pipes, flashing and other areas to match the finished work. Clean down exposed brickwork and wash down with clean water. Stains shall be referred to the manufacturer of the brick or block for recommendations of cleaning procedures.

## G - CARPENTER

G1. GENERALLY

Carry out all carpentry work as shown on the drawings specified herein or as required to effectively complete the Works in accordance with good trade practice. All materials shall be of size and spacings (within normal trade tolerances) required by the Uniform Building ByLaws. All timber shall comply with the appropriate grading rules issued by the Standards Association of Australia.

G2. FLOOR FRAMING

(Ground Floors)

Bearers to be 100mm x 75mm at maximum 1500mm centres. Floor Joists to be 100mm x 50mm at maximum 450mm centres.

(Upper Floors)

In cases of double storey designs, floor construction to be in accordance with the Timber Engineering Code.

### G3. ROOF FRAMING

Ceiling Joists - to be 75mm x 50mm spaced up to 450mm centres. Trim for manhole where required 675mm x 400mm wide, line inside the opening and cover with fibrous plaster sheet.

Hangers - to be not less than 200mm in depth by 32mm in thickness spaced up to 1800mm and spanning not more than 3000mm with hanging straps to joists.

Ridges - 175mm x 25mm.

Valleys - 175mm x 32mm.

Purlins - 100mm x 75mm strutted every 1800mm.

Collar Ties - 75mm x 50mm to be bolted to each alternate rafter.

Hips - 175mm x 25mm.

Valley Boards - 150mm x 25mm.

Struts - 75mm x 75mm.

Rafters for tile roofs 100mm x 50mm spaced not more than 600mm centres. For sheet metal roofs 100mm x 50mm spaced up to 900mm centres or 75mm x 50mm spaced not more than 750mm centres.

Trimmers - provide and fix all necessary trimmers, fillets, battens and the like for the completion of the framing.

Chimney gutters - where required shall be constructed with 75mm x 38mm bearers and 25mm boards.

Roof structures - not in accordance with the above details may be used providing that they are designed and certified by a qualified structural engineer or conform to the requirements of SAA Code 1720.

### G4. WALL PLATES

To be minimum 75mm x 50mm as necessary on the inner or outer leaf of external walls as required and on internal walls.

### G5. BARGES

Where indicated on the drawings provide 175mm x 32mm barge boards.

### G6. EAVES FASCIAS AND LININGS

To tiled roofs fascias to be timber or alternatively metal type as shown on the drawings and where linings are indicated to eaves, carport, verandahs, porches etc. they are to be 4.5mm flat asbestos cement sheeting secured to bearers and jointed with suitable p.v.c. trim.

### G7. GABLES

Where timber framed gables are shown on the drawings, frame up from 75mm x 50mm studs, plates, trimmers and raking plates.

### G8. SHEETED ROOF FRAMES

To be of size and spacings complying with the Uniform Building By-Laws.

### G9. FLASHING

1) Where timber joinery is installed provide and fit weather trays under all window sills (except where bottom of sill is below floor level). These shall be 0.5mm PG iron turned up 20mm at back and ends of wood sill and discharging 150mm into cavity. Apron pieces shall be carried 150mm beyond width of each opening at each side.

2) Where timber joinery is installed provide 100mm wide by 0.5mm PG iron flashing to heads and sides of all exposed windows and secure to frames. Similarly flash sides and head of doors.

### G10. FENCES

Fences shall be supplied and erected as stated in the Addenda and in accordance with the Fencing Regulations of the Local Government Department. Asbestos cement fences shall be erected in accordance with the manufacturer's instructions. Fences shall not be installed to act as retaining walls.

## H - FIXING OUT

- H1. FLOORING  
a) Tongued and grooved boards shall conform to Table 41.2 of the Uniform Building By-Laws.  
b) Plywood sheeting shall conform to Table 41.2 of the Uniform Building By-Laws.  
c) Fully compressed asbestos cement sheet flooring may be used with the approval of the Local Authority and shall be fixed in accordance with the manufacturer's instructions.
- H2. SANDING  
Sanded finish to flooring or other joinery shall be as required by the Addenda.  
Finishes otherwise to be left suitable for painting.
- H3. GATES  
Where shown on plan to be of the size and type indicated.
- H4. DOORS  
To be hung on three in number 85mm steel butt hinges for external doors suitably weathered with a weather bar or weather seal and two 85mm loose pin butt hinges on internal doors.  
Sliding doors where shown on drawings to be fitted to a sliding door track with valances.
- H5. WINDOWS  
To be hung or fixed as shown on plan.
- H6. LOUNGE MANTEL  
Where indicated on the drawings and of the type and size detailed in the Addenda.
- H7. ARCHITRAVES  
Where timber jambs are used architraves to be ex 50mm x 25mm chamfered or bullnose stock.  
Where there is insufficient space for full architraves a 25mm quarter round bead is to be used.
- H8. SKIRTINGS  
Unless otherwise indicated on the Addenda, provide and fix skirtings ex 75mm x 25mm bullnose stock.
- H9. SILL LININGS  
To be of type and size stated in the Addenda.
- H10. SPECIAL TRIM  
As indicated on the drawings to be fixed as required by the Addenda.
- H11. DOOR FURNITURE  
Unless otherwise specified in the Addenda, door locks and latches to be standard range with Entrance sets to front and other external timber doors.  
Latch sets to all other internal doors except bathrooms and toilets which shall be fitted with Privacy sets. Robes, Linen, Pantry etc. to be fitted with suitable roller catches or similar and dummy trims.
- H12. DOOR BUFFERS  
To be fixed where necessary to prevent door handles from touching walls.
- H13. WINDOW FURNITURE  
To be as manufacturers standard range unless otherwise specified in the Addenda.
- H14. TOWEL RAIL  
To be of the type and size indicated in the Addenda.
- H15. TOILET PAPER HOLDER  
To be of the type and size indicated in the Addenda.
- H16. FLYWIRE DOORS  
Of the type, finish and location stated in the Addenda to be supplied and fixed.
- H17. FLYWIRE SCREENS TO WINDOWS  
Of the type and finish stated in the Addenda to be supplied and fixed.

## I - JOINERY

### I.1. GENERALLY

All joinery shall be run from good quality materials and shall be framed up in accordance with best trade practice and all joinery and mouldings shall be free from buzzer marks. All timber doors and windows and door and window frames and similar joinery shall be properly jointed in accordance with good trade practice. All joinery to be to detail and delivered to the site suitably oiled. Finger jointing according to Australian Standard is acceptable.

### I.2. DOOR FRAMES

For cavity walls shall be ex 100mm x 50mm solid and appropriately rebated. For internal openings ex 50mm thick jambs shall be used.

If timber thresholds are required by the Addenda they shall be ex 125mm x 50mm nosed with weather bar or seal. Timber frames shall be suitable for a painted finish.

### I.3. WINDOW FRAMES

Awning and casement frames to be ex 100mm x 50mm solid timber rebated. Mullions to be at least 75mm thick. Sills to be 50mm minimum thickness weathered and throated.

### I.4. SASHES

a) Sashes are to be of suitable stock not less than 30mm finished thickness for awning, casement and sliding sashes. All to be properly framed.

b) Metal sashes to be installed in accordance with manufacturer's instructions.

### I.5. DOORS

Are to be framed and sheeted flush type manufactured of good quality materials. Doors both internal and external are to be of width, height and type shown on plan (minimum thickness 35mm) and as indicated in the Addenda.

### I.6. CUPBOARDS

Manufactured of good quality materials and to a standard suited to their purpose shall be supplied and fixed as shown on the drawings and as described in the Addenda.

### I.7. BUILT-IN WARDROBES

To be fitted as shown on the drawings and described in the Addenda.

### I.8. VANITY BAR

To be fitted as shown on the drawings and described in the Addenda.

### I.9. BATHROOM CABINET

To be fitted as shown on the drawings and described in the Addenda.

### I.10. LINEN/PANTRY/LAUNDRY/OTHERS

To be fitted as shown on the drawings and described in the Addenda.

## J - ROOFER

### J1. TERRA-COTTA OR CONCRETE TILES

The minimum slope of any tiled roof shall be 12½ degrees.

Cover the whole of the roof framing with terra-cotta or concrete roofing tiles to pattern specified in the Addenda fixed to timber battens. Terra-cotta tiles shall be fixed according to AS2049 and AS2050.

Concrete tiles shall be fixed according to AS1759 and AS1760. Where the pitch of the roof is less than 17 degrees or where sarking is specified below, sarking shall be laid in accordance with AS1736.

### J2. LIGHTWEIGHT METAL TILES

The minimum slope of any lightweight tiled roof shall be 10 degrees. Cover the whole of the roof framing with lightweight metal tiles to the type and pattern specified in the Addenda. Accessories and flashings in accordance with the manufacturer's recommendations. In all cases where slope or roof is less than 12 degrees sarking must be installed.

J3. ASBESTOS CEMENT SHINGLES

The minimum slope of an asbestos cement shingled roof shall be 12½ degrees. Cover the whole of the roof framing with asbestos cement shingles in accordance with the manufacturer's recommendations. Foil sarking is required for weather-proofing of slopes less than 17½ degrees.

J4. ASBESTOS CEMENT SHEETING

The minimum slope of an asbestos cement corrugated sheet roof shall be 5 degrees with special conditions as specified by the manufacturer for slopes below 10 degrees. Slopes down to 3 degrees may be covered using a separate specification available from the manufacturer. Cover the whole of the roof framing with corrugated asbestos cement sheeting in accordance with the manufacturer's recommendation and the requirements of the Local Government Authority.

J5. SKILLION ROOF SARKING

Sark the roof under skillion with double sided sisalation when less than 17 degrees pitch.

J6. PROFILED METAL DECKING

Profiled metal decking shall be manufactured of continuously run galvanised, zincalume or colourbond sheet as stated in the Addenda. Decking shall conform to AS1562 "Self Supporting Metal Roofing" and shall be fixed in accordance with manufacturer's recommendations.

K - ROOF PLUMBER

K1. GUTTERS

Eaves gutters to be standard galvanised steel box section unless alternative material or profile is indicated in the Addenda. All joints and junctions to be lapped, sealed and rivetted together with all necessary stopends, and nozzles and fixed with galvanised straps to rafters or fascia as required.

K2. DOWNPIPES

Provide and fix where shown on drawings, galvanised sheet steel downpipes with seamed joint connected to outlets from gutters and including all necessary bends, shoes etc. Pipes to be 100mm x 50mm rectangular type secured to walls with not less than two straps. Where downpipes are not shown on plan they shall be installed in such positions and of sufficient number to effectively dispose of the run-off water.

K3. RAINWATER SUMPS

Rainwater sumps are only to be installed where indicated in the Addenda and shall not be closer than 1800mm from the building. Sumps to be either precast concrete, asbestos cement or dry brickwork as shown on drawings. Rainwater sumps shall be connected to GEW or plastic fitting and connected to drain or discharge stormwater into sumps.

K4. SPOON DRAINS

Where sumps are not to be installed, provide and lay under each downspout, a 600mm precast concrete spoon drain to discharge rainwater clear of building.

K5. VALLEYS

To be lined with galvanised sheet steel turned up under roofing and for full width of valley boards, lapped 150mm at junction and having beaded edges. Valleys to be minimum of 300mm wide.

K6. FLUME VENT

Form ceiling vent of 150mm diam galvanised sheet. Vent taken through roof, flashed and fitted with cowl as required by Local Authority.

K7. FLASHINGS

Chimney stacks shall be provided with 15kg/m<sup>2</sup> lead drip tray turned up 25mm on inside of flue and on three sides externally. Fourth side to be turned down to discharge over roof flashing. Chimney back gutters to be lined with galvanised steel sheet turned 150mm up brickwork and at equal vertical heights up roof slope. Flash all pipes and vents passing through roof and make watertight with 15kg/m<sup>2</sup> sheet lead or aluminium cored material.

## L - SANITARY PLUMBER

### L1. GENERALLY

All fixtures required and specified below to be connected to the drainage system complete with all necessary traps, waste pipes, back vents, etc. in accordance with regulations.

### L2. SEWERAGE, DRAINAGE ETC. GENERALLY

All sewerage, drainage, sanitary plumbing and water supply etc. shall be carried out in strict accordance with the by-laws and regulations of the MWSS and D Board. Contractors shall provide and fix everything necessary to comply with these by-laws and regulations even though not shown on the drawings or specifically mentioned herein. He shall pay all inspection and other fees required. Where holes are made in brickwork, caused through plumbing or other fitting work, the work shall be made good.

In unsewered areas all internal drainage shall be for future sewerage.

### L3. SEWER CONNECTION

Carry out all sewerage and sanitary plumbing and connect to sewer main in accordance with the sewerage diagram or,  
SEPTIC SYSTEM INSTALLATION.

Septic system shall be installed strictly in accordance with the standards of Public Health Department. Builder to provide and submit all necessary drainage layouts and pay all fees required for septic tank installation and arrange for all work to be inspected by the Local Authority and obtain the Local Authority permit to utilise the installed septic system. For any variation refer to the Addenda.

### L4. SOAKWELLS

Construct soakwells in accordance with the standards of Public Health Department.

### L5. LEACH DRAINS

Where leach drains are required they shall be installed in accordance with the requirements of the Public Health Department and the Local Authority. For size and length of leach drains refer to the Addenda.

### L6. PEDESTAL AND SEAT

Provide and fix pedestal pan, complete with plastic seat and hinged flap with seat double bolted to pedestal pan. Type and colour to be specified in the Addenda.

### L7. CISTERN

To each W.C. provide and fix a complete cistern.

Refer to Addenda for type and colour.

### L8. BATH

Provide and fix a first quality Local Authority approved, bath with outlet, grating plug and install where indicated on the drawings. Bath shall be of the type and colour as specified in the Addenda.

### L9. BASIN

Provide and fix a first quality Local Authority approved wash basin with outlet, grating plug and instal where indicated on the drawings, and to the type and colour as stated in the Addenda.

### L10. SINK DRAINER

As stated in the Addenda provide and fix combination sink and drainer complete with outlet, grating plug, securely fixed to top of sink cupboard. At the junction of the sink and wall the flashing lip is to be recessed behind the wall finish.

### L11. WASH TROUGH

As stated in the Addenda provide and fix in laundry where shown on plan, a wash trough, with outlet grating and plug. At the junction of the wash trough and wall the flashing lip to be recessed behind the wall finish.

### L12. COLD WATER SUPPLY

Lay on cold water service and distribute to all fittings in accordance with the appropriate regulations of the Metropolitan Water Supply, Sewerage and Drainage Board of W.A.

L13. HOT WATER SYSTEMS

The type of hot water unit to be installed will be as specified in the Addenda. Connect hot water service to points as required.

L14. TAPS

Supply and fix taps to all points as detailed in the Addenda.

L15. STAND PIPES

Two stand pipes, one at the front and one at the rear, are to be provided and fixed against the building complete with 12mm brass hose cocks.

L16. VENT PIPES

All vents pipes to be 50mm material approved by appropriate Authority. Vent pipes to be complete with mosquito-proof vent cap, lead flashing clipped to vent and taken under and over roof covering. Provide and fix all necessary brackets to wall as near as possible to socket joints.

M - PLASTERER AND TILER

M1. GENERALLY

Finishes for each room as indicated in the Addenda. All rendering and plastering shall be carried out in accordance with general trade standards. All internal walls of brick or masonry (other than face finishes or where covered with feature materials) are to be cement rendered or float and set in hardwall plaster as necessary unless otherwise indicated on the drawings. Internal walls of underground garages shall not be so treated unless specified additionally.

M2. MATERIALS

All plastering work shall be executed with materials of good quality including sand which is sharp, clean and free from harmful materials. Lime shall be used in the form of premixed lime putty run for a minimum of fourteen days or putty prepared from hydrated lime which has been run for not less than 24 hours in accordance with recognised trade practice. Gypsum plaster and cement shall be of good quality.

M3. FLOAT AND SET

Shall be applied in mix proportions with workmanship of recognised trade standards suitable for domestic construction. The finished work is to be nominally 12mm in thickness. All vertical external angles are to be rounded off to 12mm radius to within 50mm of the skirting.

M4. CEILINGS

(a) Fibrous Plaster Ceilings

When not otherwise specified in the Addenda or shown on the drawings all ceilings shall be 10mm fibrous plasterboard and 75mm cornices. The boards are to be of first class manufacture free from fractures and face cracks, blemishes and stains and shall be uniformly white in colour. The boards are to be fixed in accordance with good trade practice with neatly sawn edges and joints levelled before grouting. Flush joints are to be continuously back grouted. Strap grouting over joists and angle moulds at adequate spacing. A minimum of nails and clouts are to be used. The ceilings shall be stopped up, joints flushed and all cleaned and left in a condition for painting.

(b) Gypsum Plasterboard

Paper reinforced plasterboard to be fixed in accordance with manufacturer's instructions.

(c) Other linings to be fixed in accordance with manufacturer's instructions.

M5. TILING WALL AND FLOOR

a) Wall Tiling

All wall tiles to be glazed ceramic of the size and colours selected. Tiles to be fixed with a suitable adhesive and joints to be horizontal and vertical with border tiles as required.

Grouting in selected colours to be applied on completion. Areas of tiling to be as indicated on the drawing and in the Addenda.

Allow Prime Cost per square metre for wall tiles in the amount stated in the Addenda.

- b) Floor Tiling  
Floor tiles shall be ceramic tiles of the size, type and colour selected.  
Lay on a 3:1 cement mortar bed or suitable adhesive to falls where required and grout with neat cement on completion.  
Areas to be as indicated on the drawing and in the Addenda. Allow Prime Cost per square metre for floor tiles in the amount stated in the Addenda.

#### N - ELECTRICIAN

- N1. GENERALLY  
The electrical installation to the point of supply is to be executed by a licensed electrical installer in accordance with the rules and regulations of the S.E.C. of W.A.
- N2. ELECTRICAL DIAGRAM  
The electrical diagram on or appended to the drawings shall give the outlet lay out and position of all switches, points and relevant items. All accessories to be white.
- N3. SWITCHES  
To be S.E.C. approved rocker type set in architraves or skirtings with flush plates, or in metal boxes sunk into walls internally. All switches to be white.
- N4. POWER POINTS  
Provide and fix the number of power points shown on the electrical diagram and specified in the Addenda. Fittings to be uniform standard range flush plate 3 pin combined switch and plug sockets fitted into metal boxes as necessary.
- N5. LIGHT POINTS  
Provide and fix the number of white switches and plastic batten holder lamp sockets as shown on the electrical diagram and specified in the Addenda.
- N6. EXHAUST FAN AND/OR RANGE HOOD  
Where shown on the electrical diagram or drawings, install exhaust fans of the size and types specified in the Addenda.
- N7. ELECTRIC STOVE  
Provide and install electric stove of the type specified in the Addenda.
- N8. HOT WATER UNIT  
Provide electrical connections to the Hot Water Unit.  
(See Plumber L13).
- N9. MAINS EXTENSION POLE  
When required by the Supply Authority after the execution of the contract of which this specification forms part, the cost of supplying and fixing of a mains extension pole shall be borne by the Owner.
- N10. POWER CONNECTION  
The Proprietor shall be responsible for applying to the Supply Authority for power to be connected to the house and shall pay all fees connected therewith.
- N11. THREE PHASE SUPPLY  
Any requirement for 3 phase services to be as stated in the Addenda.

#### O - GAS FITTER

- O1. GENERALLY  
The whole of the work is to be executed in full accordance with the Supply Authority's requirements.
- O2. PIPING  
Lay on gas from meter on terminal of Supply Authority or other supply source line with minimum 25mm diameter G.I. or plastic piping. Branches to appliances to be of sizes in accordance with Supply Authority's requirements.
- O3. APPLIANCES AND FLUES  
Install appliances listed in the Addenda complete with flues in accordance with the Supply Authority's requirements.

## P - GLAZIER

- P1. GENERALLY  
All glass shall be back puttied, sprigged and beaded in sizes according to AS1288.
- P2. OBSCURE GLASS  
WC and bathroom windows shall be glazed with obscure glass.
- P3. OTHER GLAZING  
If any other glass or glazing is required it shall be specified in the Addenda.
- P4. MIRRORS  
Provide and fix mirrors as shown on the drawings and details as specified in the Addenda.
- P5. GLASS SHOWER SCREEN  
Where indicated on drawings provide and fix a shower screen as stated in the Addenda glazed with wired obscured or other suitable glass and fitted with suitable curtain rail.

## Q - PAINTER

- Q1. GENERALLY  
This specification is intended to include everything necessary for the proper and entire finishing of the paintwork. Only skilled tradesmen are to be employed in this work.
- Q2. MATERIALS  
Ready-mixed paints of first class quality shall be delivered to the site in sealed containers. Turpentine shall be pure mineral turpentine. Putty is to be composed of linseed oil and whiting to a proper consistency and coloured to match timbers where necessary.
- Q3. PREPARATION  
All surfaces shall be properly prepared by the painter by scraping filling and sanding to ensure a uniform surface. Metal work to be properly rubbed down, scraped and wire brushed where required.  
Brickwork to be painted is to have dust and mortar nibs brushed off and any efflorescence removed.
- Q4. WORKMANSHIP  
Paints shall be thoroughly stirred before use. Dilution shall be permitted only when in strict accordance with the manufacturer's written instructions.  
All coats shall be sanded down and dusted off before the next coat is applied.  
No external work is to be done during or immediately after wet weather.  
Paint shall be applied in accordance with Manufacturer's recommendations.  
Where oil based paints are used for external work a full 24 hours must be allowed between coats.

### EXTERNAL WORK (Unless otherwise stated in the Addenda)

- Q5. WOODWORK  
After preparation, apply 1 coat primer, 1 coat undercoat and 1 coat gloss finish or alternatively 2 coats low gloss acrylic finish as required.
- Q6. METALWORK  
Apply suitable primer to all metal surfaces not otherwise shop primed and finish with 1 coat undercoat and 1 coat gloss enamel.
- Q7. BRICKWORK  
Apply 2 coats external acrylic wall paint to areas indicated on drawing.
- Q8. ASBESTOS CEMENT  
To linings of eaves, verandahs, carport ceilings etc, apply 2 coats external P.V.A. paint.

INTERNAL WORK (Unless otherwise stated in the Addenda)

- Q9. WOODWORK  
Apply 1 coat primer, 1 coat undercoat and 1 coat semi-gloss enamel.
- Q10. CLEAR FINISH  
Woodwork requiring clear finish to have applied 1 coat sanding sealer and 2 coats polyurethane clear finish with light sanding between coats.
- Q11. BRICKWORK  
Internal brickwork or bagged work to be finished with 2 coats internal acrylic wall paint as required.
- Q12. CEILINGS  
Seal all flush joints, stains etc. and apply 1 coat internal P.V.A. paint.
- Q13. WALLS  
All plastered walls to be painted 2 coats internal acrylic wall paint.
- Q14. COMPLETION  
Touch up and remove all paint splashes from all fittings, floors, walls, etc.  
Secure any fittings or furniture removed prior to painting, remove containers and debris and leave clean and tidy.

R - THERMAL INSULATION

- R1. Ceiling insulation materials to be installed as described in the Addenda.

S - SPECIAL CLAUSES (IF ANY)

This is the specification of works to be executed and materials to be provided in the erection and completion of a building in accordance with the accompanying drawings and building contract.

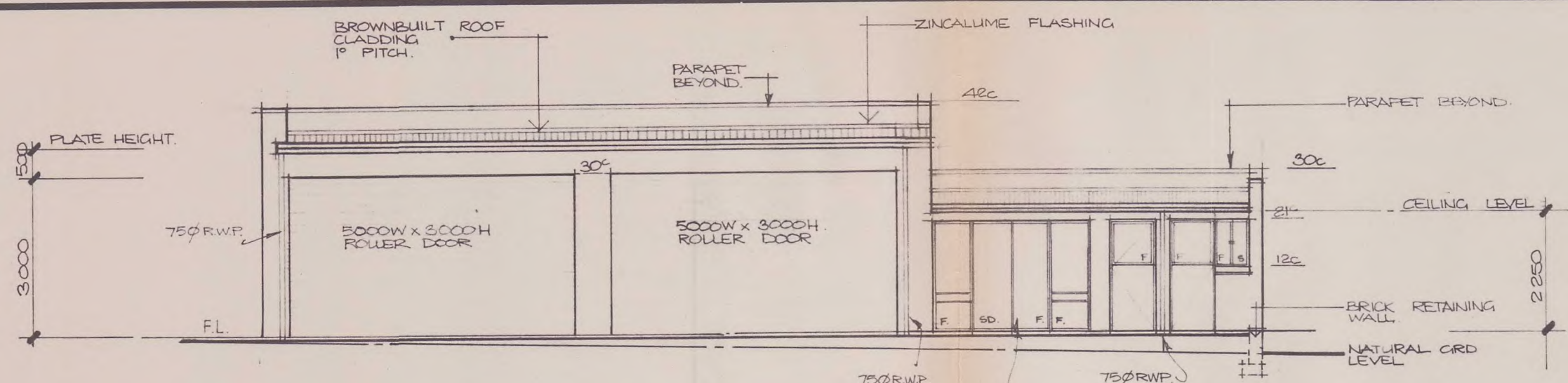
For: .....  
..... (Proprietor)

By: .....  
..... (Builder)

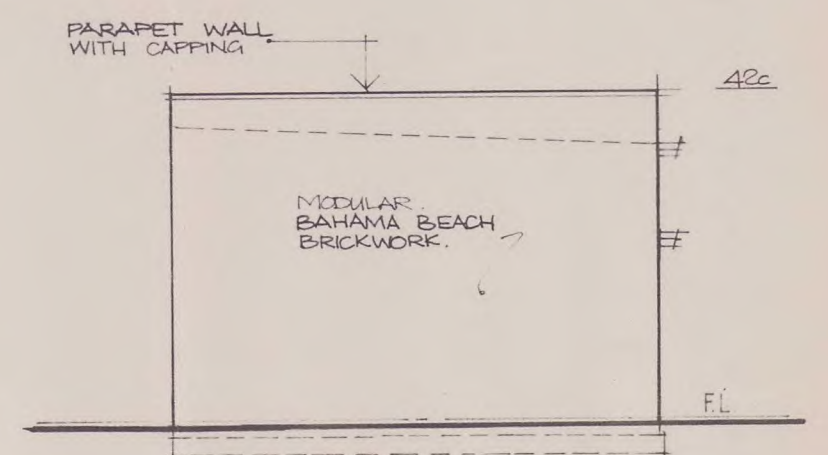
Signed: ..... (Proprietor)  
.....  
..... (Witness)  
.....

Signed: ..... (Builder)  
.....  
..... (Witness)  
.....

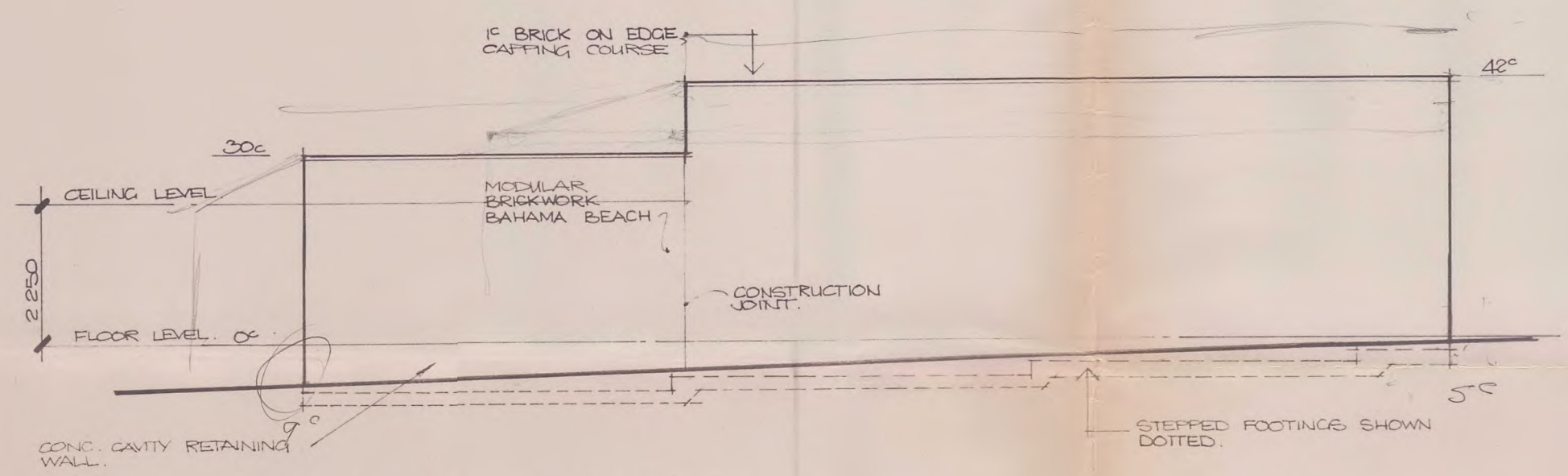
Dated: .....



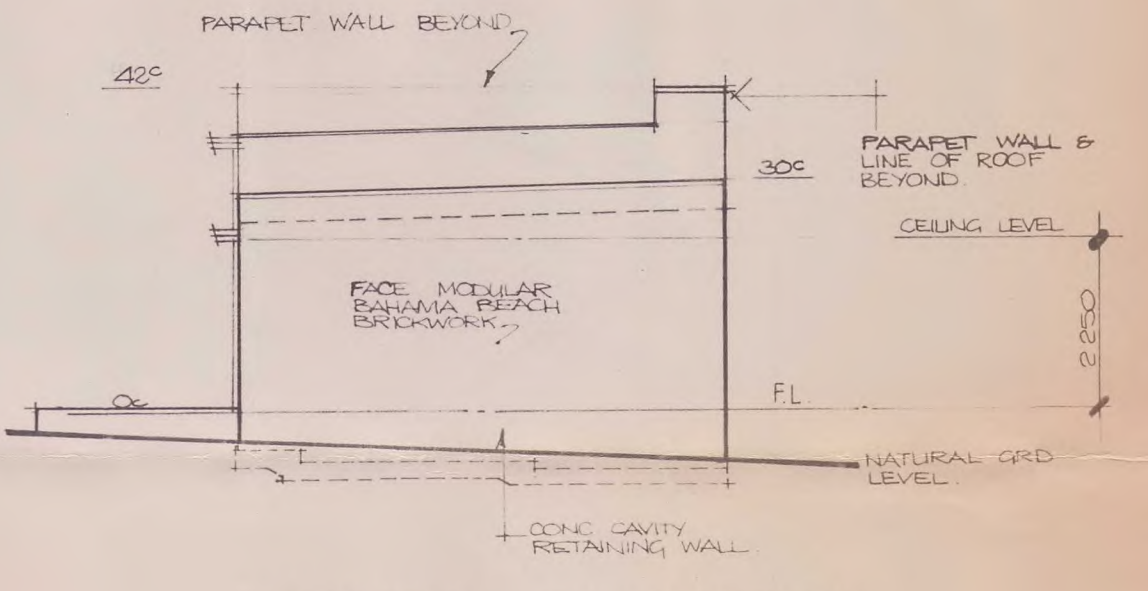
**WEST ELEVATION** (GARAGE AND STORE)  
1:100



**NORTH ELEVATION**  
1:100

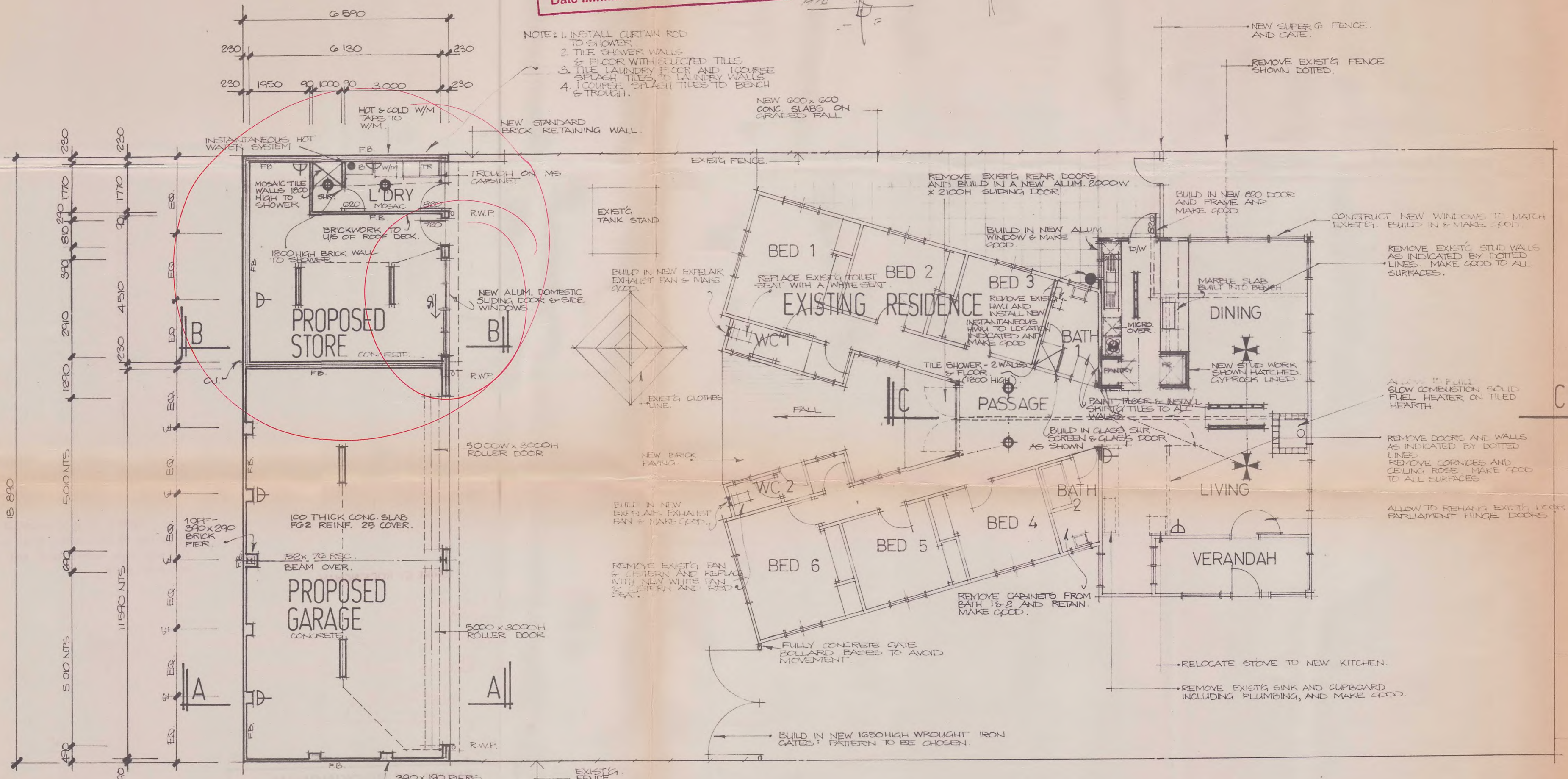


**EAST ELEVATION**  
1:100



**SOUTH ELEVATION**  
1:100

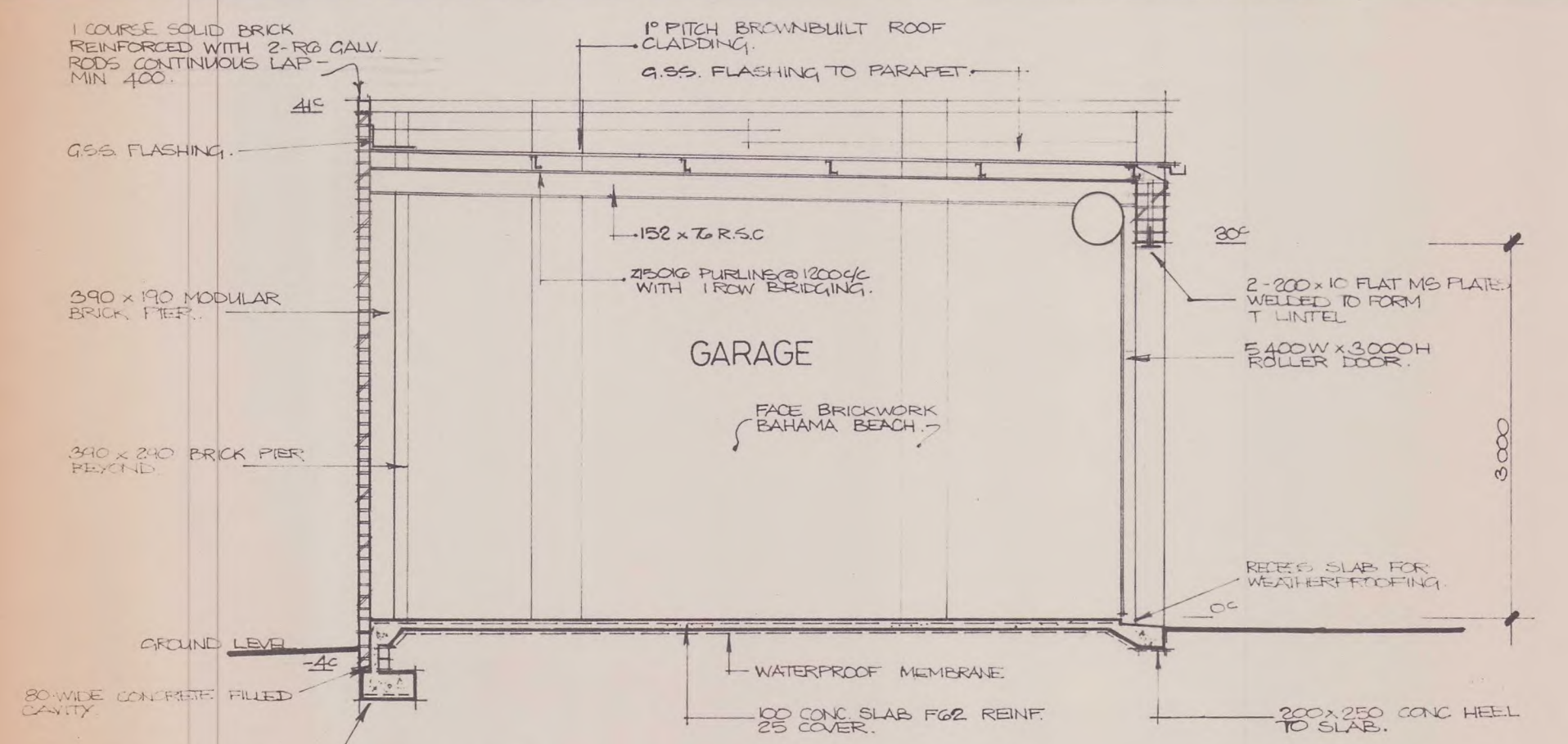
**SHIRE OF ROCKINGHAM**  
**AMENDED DRAWING**  
Date 09 DEC 2009



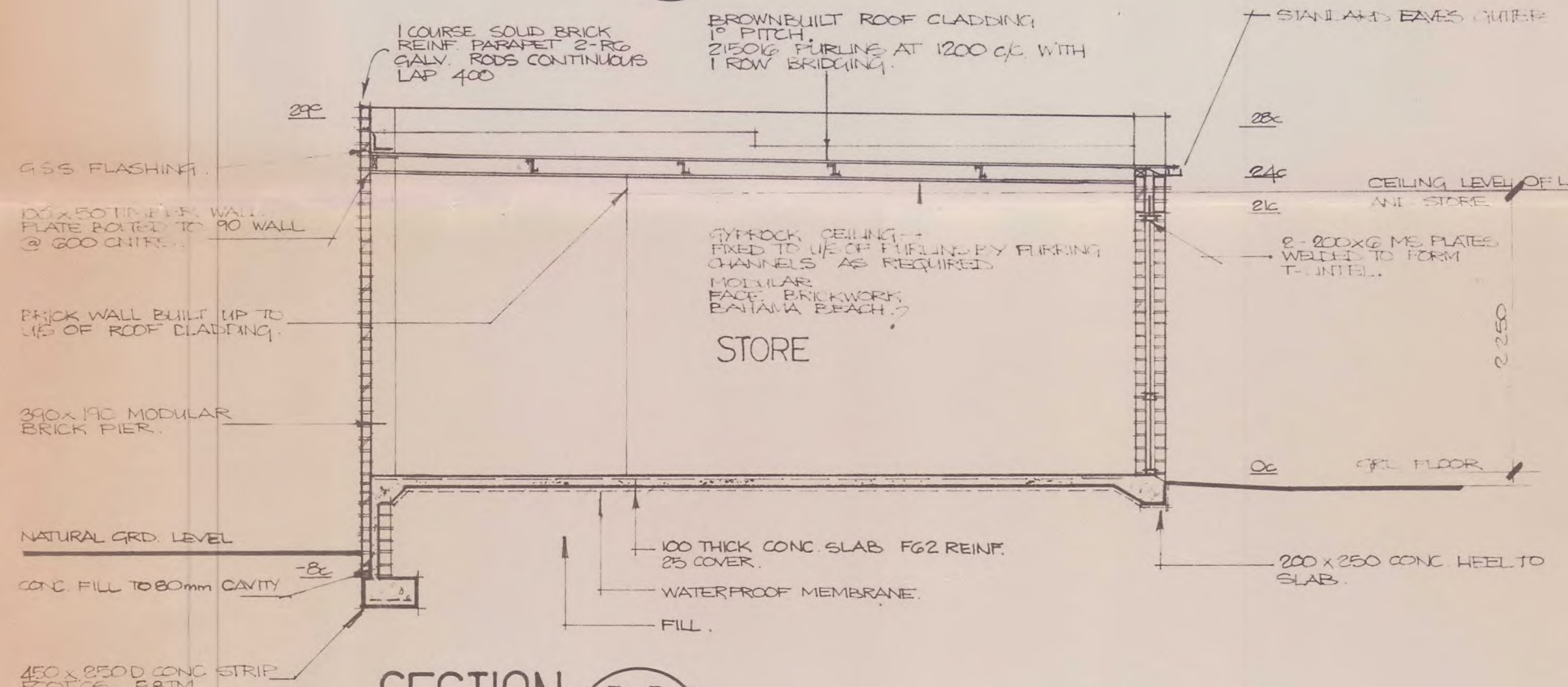
**SITE PLAN AND FLOOR PLAN**  
1:100

**ELECTRICAL LEGEND**

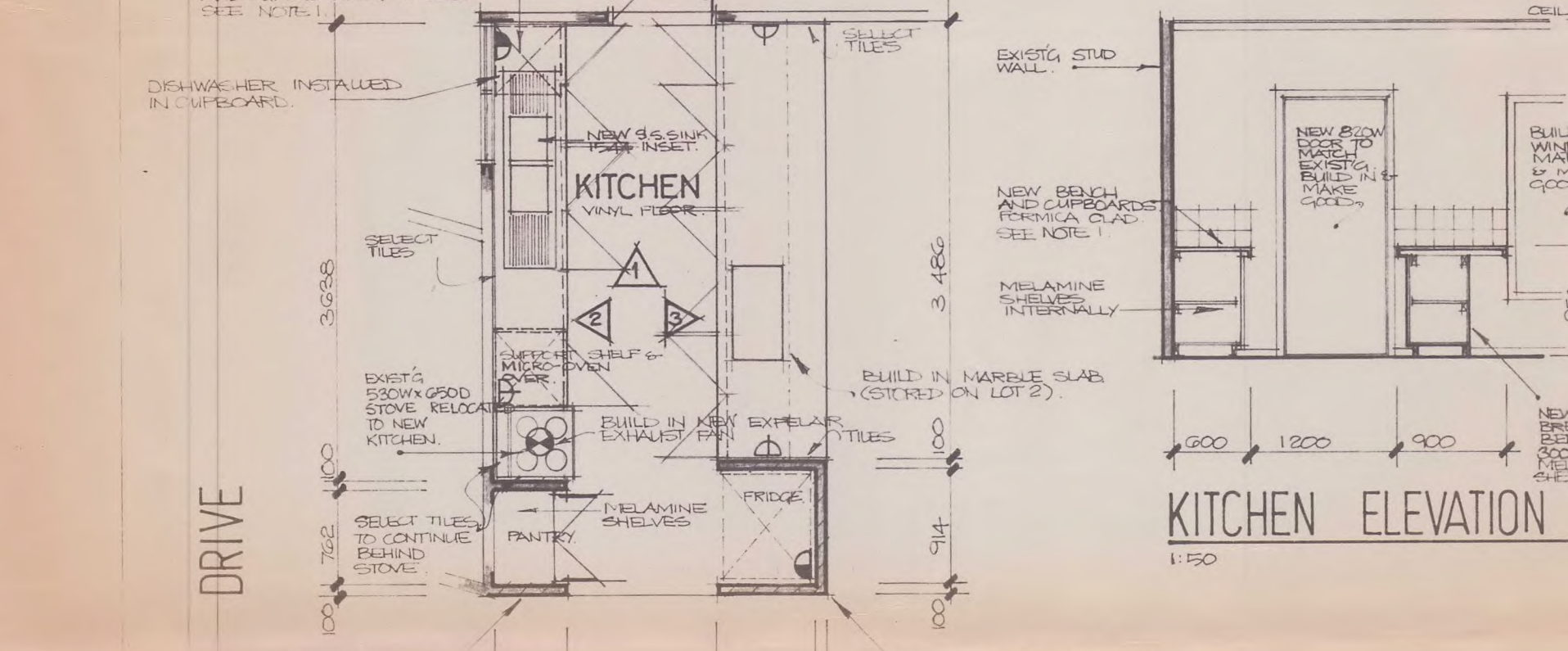
- CEILING FAN - SUPPLIED BY OWNER, WIRED BY QUALIFIED ELECTRICIAN.
- SINGLE GPO
- DOUBLE GPO
- INCANDESCENT LIGHT FIXTURE
- LIGHTING TRACK WITH SWITCH ONLY
- SINGLE 1x40W FLUORESCENT WITH DIFFUSER.
- ALLOW TO CONNECT: STOVE, DISHWASHER, MICRO-OVEN, EXHAUST FAN.



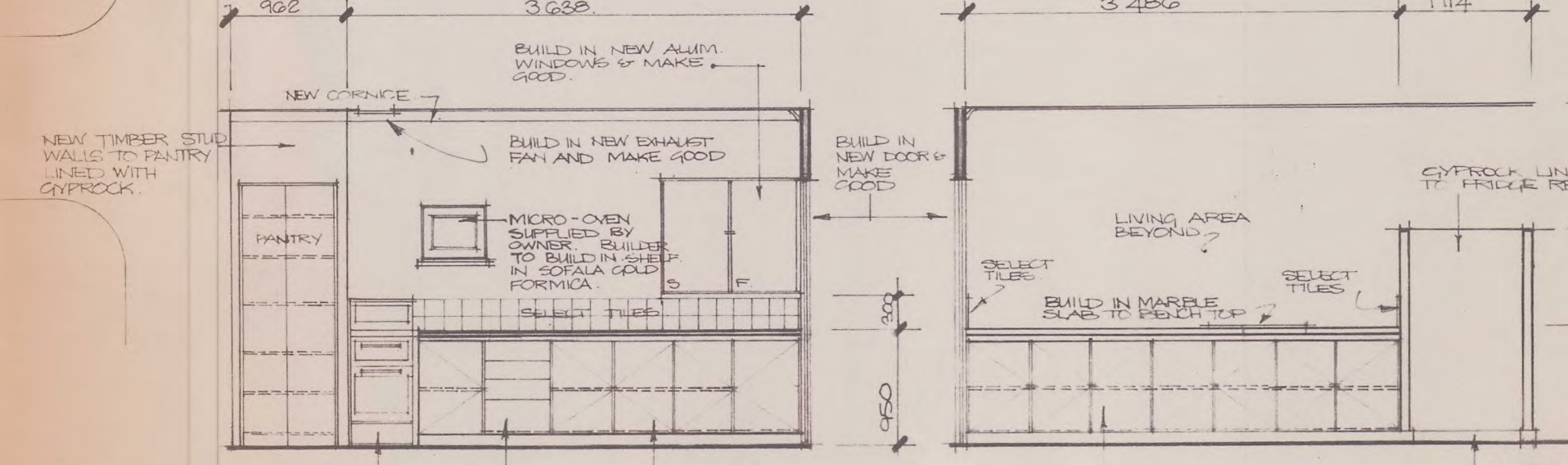
**SECTION A-A**  
1:50



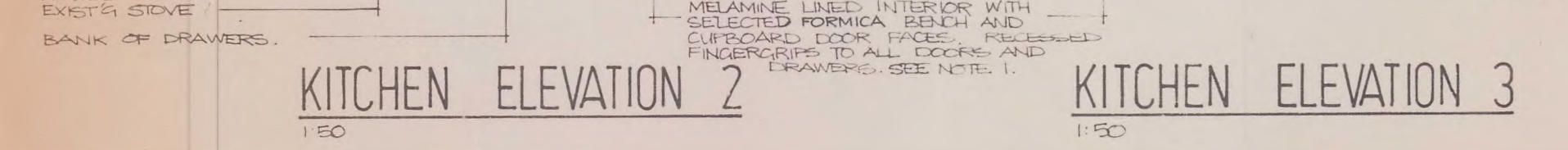
**SECTION B-B**  
1:50



**KITCHEN ELEVATION 1**  
1:50



**KITCHEN ELEVATION 2**  
1:50



**KITCHEN ELEVATION 3**  
1:50

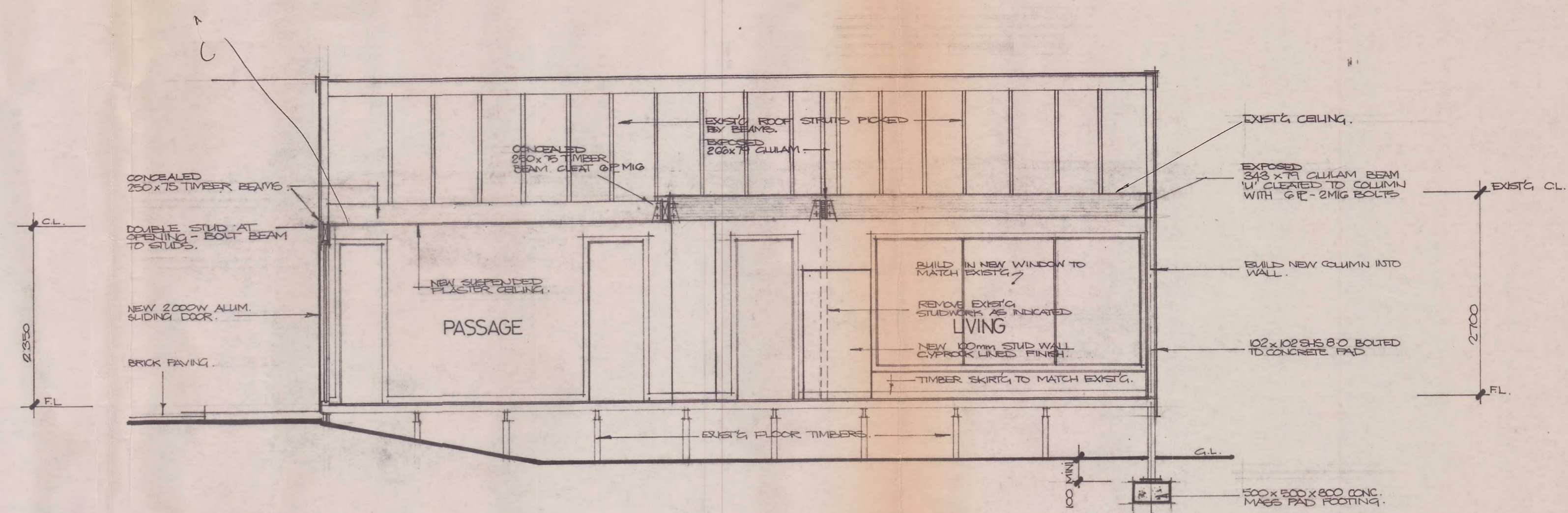
REV.	DATE	REMARKS	REV.	DATE	REMARKS
A	9.8.05	GENERAL REVISION - CL IN STORE/LDRY.	D	15 NOV 05	GENERAL REVISION.
B	12.8.05	REVISED PARAPET.	E	20 NOV 05	DELETE RFD TO STORE.
C	22.10.05	REMOVE CAVITY WALL TO BOUNDARY.	F		

**PROPOSED ALTERATIONS AND EXTENSIONS ON LOT 2 ARCADIA DRIVE, SHOALWATER BAY.**  
FOR: **MR & MRS B. RULE.**

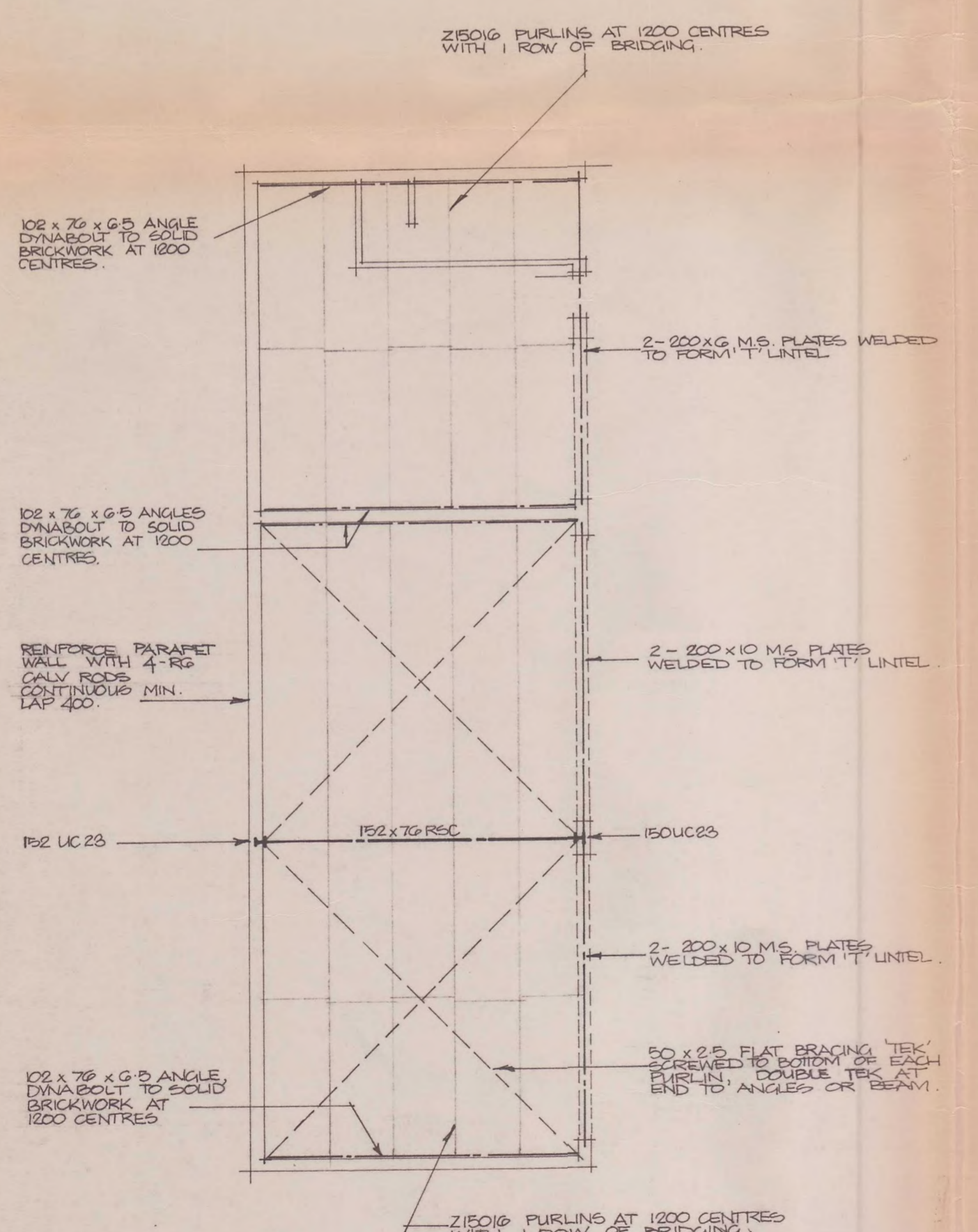
**MEYER SHIRCORE AND ASSOC.**  
DESIGN CONSULTANTS  
Ground Floor, 614 Newcastle Street,  
Leederville Ph. 328 4900

DATE 25 JULY 05  
SCALE AS SHOWN  
DRAWN J.A.E.  
CHECKED

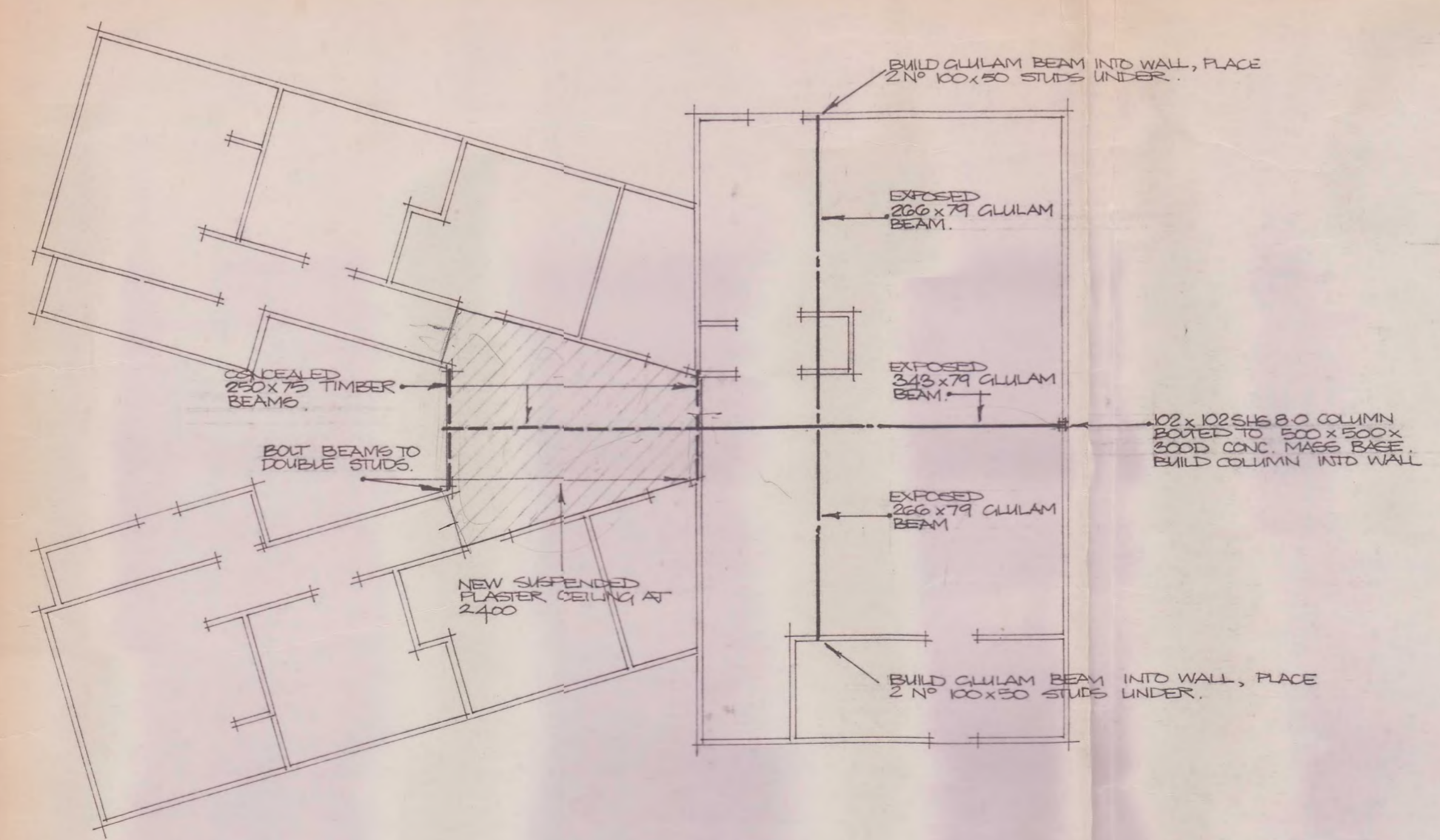
PROJECT No. **3933**  
DWG. No. **1/2** REV. No. E.



SECTION G-C  
1/2



STEEL PLAN 1:100 - GARAGE



NEW ROOF BEAMS - RESIDENCE 1:100

SHIRE OF ROCKINGHAM  
AMENDED DRAWING  
Date 2.8.OCT.1988

REV.	DATE	REMARKS	REV.	DATE	REMARKS
A			D		
B			E		
C			F		

THIS DRAWING IS THE PROPERTY OF MEYER SHIRCORE AND ASSOCIATES AND MAY NOT BE COPIED WITHOUT WRITTEN CONSENT BY THE DESIGN CONSULTANTS. CHECK ALL DIMENSIONS BEFORE FABRICATION AND AGAINST ON-SITE DIMENSIONS.

PROPOSED ALTERATIONS AND EXTENSIONS ON LOT 2 ARCADIA DRIVE,  
SHOALWATER BAY. FOR: MR & MRS B. RULE.

MEYER SHIRCORE AND ASSOC.  
DESIGN CONSULTANTS  
Ground Floor, 614 Newcastle Street,  
Leedsville Ph. 328 4900

DATE OCT 88  
SCALE AS SHOWN  
DRAWN J.A.E.  
CHECKED  
PROJECT No. 3933  
DWG. No. 2/2 REV. No.

## 10 Photos and Video

The attached five (5) folders are a collection of current and older photographs and videos consisting of:

- a) Drone Photography
- b) External Photos
- c) External Video
- d) Internal Photos
- e) Internal Video

The table below identifies all the photos and videos in the above referenced folders. Note a Jpeg denotes a still photograph in Jpeg format and Mpeg denotes a video in Mpeg4 format.

File Name	Folder Name	Media Type	Description	Date Taken
Aerial View 1.jpg	Drone Photography	Jpeg	Aerial view of the home facing East	17/01/2021
Aerial View 2.jpg	Drone Photography	Jpeg	Aerial view of the home facing East	17/01/2021
Aerial View 3.jpg	Drone Photography	Jpeg	Aerial view of the home facing East	17/01/2021
Aerial View 4.jpg	Drone Photography	Jpeg	Aerial view of the home facing East	17/01/2021
Cover.jpg	Drone Photography	Jpeg	Aerial view of the home close-up (Cover image)	10/05/2023
Façade 1.jpg	Drone Photography	Jpeg	West (Front) view of the home	29/04/2023
Façade 2.jpg	Drone Photography	Jpeg	West (Front) view of the home close-up	29/04/2023
Front View.jpg	Drone Photography	Jpeg	Front Aerial view of the home	17/01/2021
Location 1.jpg	Drone Photography	Jpeg	Wide aerial view of the home facing South-East	29/04/2023
Location 2.jpg	Drone Photography	Jpeg	Wide aerial view of the home facing South-East	29/04/2023
Location 3.jpg	Drone Photography	Jpeg	Shoalwater beach and bushland, facing South-East	29/04/2023
Location 4.jpg	Drone Photography	Jpeg	Shoalwater beach and bushland, facing South-East	29/04/2023
Location and roof.mp4	Drone Photography	Mpeg	Aerial view of the location and roof of the home	29/04/2023
Main 1.jpg	Drone Photography	Jpeg	Front Aerial view of the home	29/04/2023

File Name	Folder Name	Media Type	Description	Date Taken
Main 2.jpg	Drone Photography	Jpeg	West (Front) view of the home and roof	29/04/2023
Overall 1.jpg	Drone Photography	Jpeg	West (Front) view of the home	29/04/2023
Overall 2.jpg	Drone Photography	Jpeg	Front Aerial view of the home	29/04/2023
panoramic video.mp4	Drone Photography	Jpeg	Video walkaround of the home	29/04/2023
Plan view 1.jpg	Drone Photography	Jpeg	Top view of the home	30/01/2021
Plan view 2.jpg	Drone Photography	Jpeg	Top view of the home close-up	17/01/2021
Plan view 3.jpg	Drone Photography	Jpeg	Top view of the home wide angle	17/01/2021
Plan view 4.jpg	Drone Photography	Jpeg	Top view of the home	17/01/2021
Roof.jpg	Drone Photography	Jpeg	Front view of the roof	29/04/2023
20181020_100125.jpg	External Photos	Jpeg	Rear elevation showing splayed roof	20/10/2018
20181020_101503.jpg	External Photos	Jpeg	Rear garages	20/10/2018
20181020_101532.jpg	External Photos	Jpeg	Rear storeroom	20/10/2018
20230429_112520.jpg	External Photos	Jpeg	South side rear wing	29/04/2023
20230429_112527.jpg	External Photos	Jpeg	North side rear wing	29/04/2023
20230429_112533.jpg	External Photos	Jpeg	Rear elevation showing splayed roof	29/04/2023
20230429_112538.jpg	External Photos	Jpeg	Rear elevation showing splayed roof	29/04/2023
20230429_112548.jpg	External Photos	Jpeg	North side rear wing close up	29/04/2023
20230429_112554.jpg	External Photos	Jpeg	Aluminium window awning	29/04/2023
20230429_112600.jpg	External Photos	Jpeg	South side rear wing toilet	29/04/2023
20230429_112611.jpg	External Photos	Jpeg	North side rear wing toilet	29/04/2023
20230429_112616.jpg	External Photos	Jpeg	South side rear wing roof overhang	29/04/2023
20230429_112621.jpg	External Photos	Jpeg	Rear entrance (double doors)	29/04/2023
20230429_112641.jpg	External Photos	Jpeg	North elevation - rear section	29/04/2023
20230429_112646.jpg	External Photos	Jpeg	Window awning	29/04/2023

File Name	Folder Name	Media Type	Description	Date Taken
20230429_112654.jpg	External Photos	Jpeg	Window awning 2	29/04/2023
20230429_112701.jpg	External Photos	Jpeg	Window awning 3	29/04/2023
20230429_112704.jpg	External Photos	Jpeg	Window awning 4	29/04/2023
20230429_112716.jpg	External Photos	Jpeg	Hot water system and external shower	29/04/2023
20230429_112727.jpg	External Photos	Jpeg	Hot water system close up	29/04/2023
20230429_112733.jpg	External Photos	Jpeg	Hot water system 2	29/04/2023
20230429_112736.jpg	External Photos	Jpeg	Hot water system 3	29/04/2023
20230429_112753.jpg	External Photos	Jpeg	North elevation - front section	29/04/2023
20230429_112809.jpg	External Photos	Jpeg	Front elevation 1	29/04/2023
20230429_112820.jpg	External Photos	Jpeg	Front elevation 2	29/04/2023
20230429_112838.jpg	External Photos	Jpeg	Front elevation 3	29/04/2023
image2.jpg	External Photos	Jpeg	older elevation showing awnings and portico	20/10/2018
rear 1.jpg	External Photos	Jpeg	North side rear wing	20/10/2018
rear 2.jpg	External Photos	Jpeg	North side rear wing and driveway	20/10/2018
Rear Elevation.jpg	External Photos	Jpeg	Main rear elevation	29/04/2023
Side Elevation.jpg	External Photos	Jpeg	North elevation front section	29/04/2023
Exterior Walkaround.mp4	External Video	Mp4	Walk-around video of outside perimeter of home	29/04/2023
Bathroom 1.jpg	Internal Photos	Jpeg	South unit Bathroom	18/04/2023
Bathroom 2.jpg	Internal Photos	Jpeg	North unit Bathroom	18/04/2023
Bed 2.jpg	Internal Photos	Jpeg	Bedroom 2	18/04/2023
Bedroom 3.jpg	Internal Photos	Jpeg	Bedroom 3	18/04/2023
Bedroom 4.jpg	Internal Photos	Jpeg	Bedroom 4	18/04/2023
Bedroom.jpg	Internal Photos	Jpeg	Minor bedroom	18/04/2023

File Name	Folder Name	Media Type	Description	Date Taken
Dining Room.jpg	Internal Photos	Jpeg	Dining room	20/10/2018
Exposed Beams 1.jpg	Internal Photos	Jpeg	Main living area exposed roof timber beams	29/04/2023
Exposed Beams 2.jpg	Internal Photos	Jpeg	Main living area exposed roof timber beams	29/04/2023
Family Room.jpg	Internal Photos	Jpeg	Main family room	20/10/2018
Fireplace.jpg	Internal Photos	Jpeg	Family room overlooking fireplace	18/04/2023
Internal modifications.jpg	Internal Photos	Jpeg	Current living areas post modifications	18/04/2023
Kitchen 1.jpg	Internal Photos	Jpeg	Kitchen area	18/04/2023
Kitchen 2.jpg	Internal Photos	Jpeg	Kitchen area	18/04/2023
Kitchen 3.jpg	Internal Photos	Jpeg	Kitchen area	18/04/2023
Living Room 1.jpg	Internal Photos	Jpeg	Family room, floorboards	18/04/2023
Living Room 2.jpg	Internal Photos	Jpeg	Dining room, floorboards	18/04/2023
Main Area.jpg	Internal Photos	Jpeg	Living areas, floorboards	18/04/2023
Master Bedroom.jpg	Internal Photos	Jpeg	Master bedroom	18/04/2023
Music Nook 1.jpg	Internal Photos	Jpeg	Music/piano nook	29/04/2023
Music Nook 2.jpg	Internal Photos	Jpeg	Music/piano nook	29/04/2023
Rear Entrance.jpg	Internal Photos	Jpeg	Rear entrance (double doors)	18/04/2023
Rear Garages.jpg	Internal Photos	Jpeg	Rear garages	18/04/2023
South West View.jpg	Internal Photos	Jpeg	South west view from front window	29/04/2023
West View 1.jpg	Internal Photos	Jpeg	West view from front window	29/04/2023
West View 2.jpg	Internal Photos	Jpeg	West view from front window	29/04/2023
Entrance and Westerly View	Internal Video	Mpeg	Video of entrance and westerly view	29/04/2023
Main Living Area and Exposed Roof Beams	Internal Video	Mpeg	Video of main living area and exposed roof beams	29/04/2023
Bathrooms, bedrooms and toilets	Internal Video	Mpeg	Video of Bathrooms, bedrooms and toilets	29/04/2023

# 11 Heritage Impact Statement



**HOCKING  
HERITAGE +  
ARCHITECTURE**

118 Arcadia Drive, Shoalwater  
Heritage Impact Statement  
September 2022

## Contents

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## 1.0 Introduction

The owners of no. 118 Arcadia Drive, Shoalwater have requested a Heritage Impact Statement be prepared in connection with their application for demolition of the place.

The property is included as a Category C place on the City of Rockingham's Municipal Heritage Inventory and is also included on the City's Heritage List adopted under the City's Town Planning Scheme No. 2. A Category C place is one that demonstrates some cultural heritage significance.

As a place entered on the Heritage List, no. 118 Arcadia Avenue, Shoalwater is subject to the provisions of Planning Policy no. 3.3.21: Heritage Conservation and Development. The objectives of the planning policy include conservation and protection of places of cultural heritage significance and to ensure that development does not adversely affect the significance of these places. Demolition of heritage places is generally not supported by the City of Rockingham.

No. 118 Arcadia Drive, Shoalwater is a 1960s timber frame with fibre cement cladding property of the Post War International architectural style. The place is located in the suburb of Shoalwater which was subdivided for development from 1938 with the first developments largely being holiday homes. The subject property was a later development and was originally two separate residences that have subsequently been combined to form one residence.

The condition of the place is failing and due to the predominant building material being asbestos, the owners are seeking to demolish the place.

## 2.0 Location

No. 118 Arcadia Drive, Shoalwater is located at Lot 2 on Diagram 11034.

The place is located on the west side of Arcadia Drive overlooking Lions Park and Shoalwater Beach.

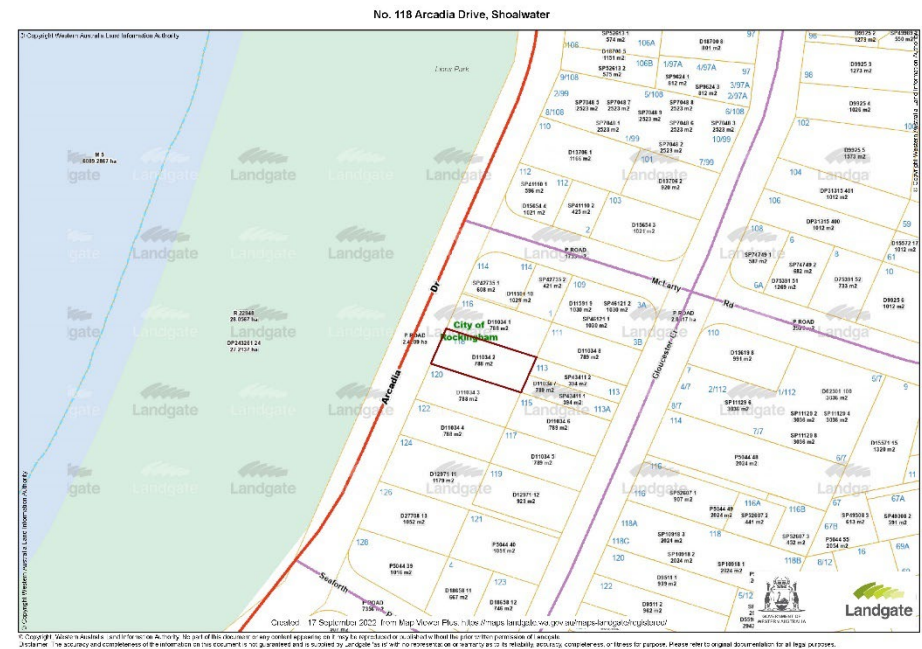


Figure 1:  
Courtesy

Cadastral Plan, no. 118 Arcadia Drive, Shoalwater  
Landgate, 2022

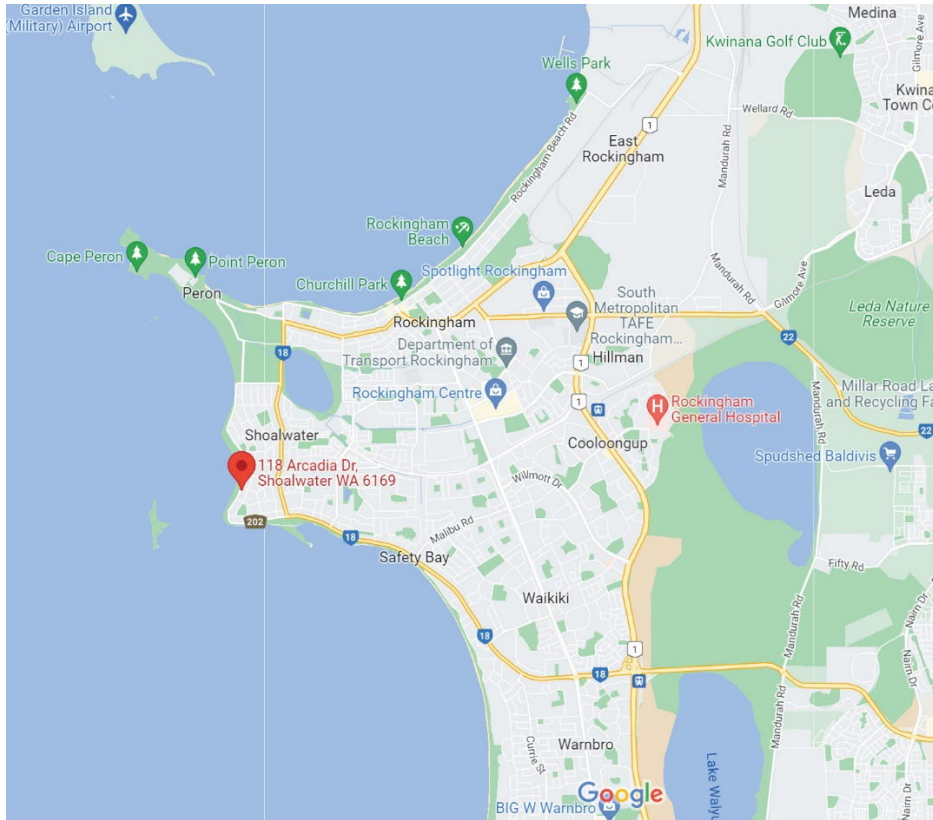


Figure 2: No. 118 Arcadia Drive in a local context  
Courtesy Google Maps, 2022



Figure 3: Aerial view of no. 118 Arcadia Drive, Shoalwater  
Courtesy Nearthmap, 2022

### 3.0 Heritage Listings

No. 118 Arcadia Drive, Shoalwater benefits from the following heritage listings:

Listing type	Status	Category	Date
State Register	----	----	----
Heritage List of City of Rockingham	Adopted		24 April 2018
Municipal Heritage Inventory	Adopted	C	24 April 2018

The definition of management categories is set out in City of Rockingham's Planning Policy no. 3.3.21: Heritage Conservation and Development:

Category C Some/Moderate Significance

Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the item.

Conservation of the place is desirable.

Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.

All works are to be supported by a detailed Heritage Impact Statement.

An Archival Record is to be prepared prior to any significant alterations to the place, in accordance with Heritage Council Standards.

## 4.0 Statement of Significance

The following Statement of Significance has been taken from the place record form for no. 118 Arcadia Drive, Shoalwater prepared for its entry into the City of Rockingham's Municipal Heritage Inventory, 2018.

- The place has aesthetic value as a simple demonstration of the Post War International style expressed in asbestos sheeting.
- The place has historic value for its association with the development of Shoalwater in the 1960s as a holiday destination.

## 5.0 Description



Figure 4: Façade

No. 118 Arcadia Drive, Shoalwater is a single storey timber framed and fibro clad house. The façade is dominated by a prominent gable beneath a low pitched corrugated asbestos roof. The gable has a panelled appearance and the eaves are lined with an ACM lining.

Below the gable, the façade is enlivened by a series of large aluminium framed windows. The entrance is around to the side elevation.

The building takes a standard symmetrical form to the façade, the majority of which is presently obscured by overgrown planting.

The side elevations are a mix of windows of different dimensions, some with metal clad awnings above and fibro panelled walls. None of the windows or doors are original.



Figure 5: *Facade and north elevation*



Figure 6: *Main entrance to north elevation*

The rear elevation is splayed with two projecting angled wings with double doors between the wings leading to the rear garden space.



Figure 7: *Rear splayed elevation*



Figure 8: *Rear elevation*

Internally, the rooms have been opened up to create large open spaces with pine beams spanning the ceiling to provide structural support where walls have been removed. The current owners have provided the information that the building was originally two separate apartments which were incorporated into one residence. This has meant there has been considerable alteration to the internal spaces.

The internal walls are lined with fibro panels and the floors are wide jarrah boards.



Figure 9: Open plan living area



Figure 10: View through to rear double doors with angled wings leading off to both sides



Figure 11: Original bathroom fittings

There is a brick garage and studio building in the rear garden.



Figure 12: Brick garage and studio

## 5.1 Condition

The place is in poor to fair condition. The fibro panelling is showing signs of failure with the sheets cracking, breaking and broken, cover battens are also missing in places or broken. Facia boards and eaves lining boards are also showing signs of damage and failure.

The roof could not be seen clearly from street level.

The windows are not original and are showing signs of leaking, causing further damage to the wall fabric.

The majority of the ceilings have been replaced.

The bathroom fittings are original and dated.



Figure 13: *Damaged fibro panelling*



Figure 14: *Damaged fibro panelling*



Figure 15: Damaged fibro panelling, missing cover battens



Figure 16: Damaged fibro panelling



Figure 17: Damaged fibro panelling to gable element and damaged timber fascia



Figure 18: North side of roof taken from street level



Figure 19: Damaged fibro panelling



Figure 20: Rusted window awning and replacement windows



Figure 21: Damaged fibro panelling



Figure 22: Damaged fibro wall to the interior



Figure 23: Damp below the windows

## 5.2 Streetscape

The streetscape of Arcadia Drive does not present with a coherent character. Many of the blocks have been redeveloped with two storey contemporary houses creating a varied architectural built form. Lots have been subdivided in some instances altering the original development pattern of the street. Higher density developments have also occurred which further impact on the development pattern of Arcadia Drive.

The most distinctive element of the streetscape is the open aspect to the ocean. Development only occurs on the eastern side of the street with parkland, beach and ocean to the western side. The architectural character of the street is almost immaterial, it is the relationship of the buildings to the natural landscape that is important.



Figure 24: Typical streetscape view in Shoalwater



Figure 25: Original house amongst redevelopments



Figure 26: Typical original two storey house in Shoalwater



Figure 27: 116 Arcadia Drive included on the LHS in good condition

## 6.0 Assessment of Impact

The loss of any heritage place should be a carefully considered and measured decision. There is a finite supply of heritage places and each one is irreplaceable and adds its own unique story to the development of Western Australia. However there comes a point when not every heritage place can, or should, be retained. The retention of no. 118 Arcadia Drive, Shoalwater is one such place.

In terms of City of Rockingham Planning Policy, there is a recommendation to retain the place. The place has been assessed as a Category C heritage place demonstrating some or moderate heritage significance. The management category means that the place contributes to the heritage of the locality and any altered elements do not necessarily detract from the place. Whilst demolition is generally discouraged for places of some/moderate significance, the City does recognise there may be instances where this is an acceptable outcome.

No. 118 Arcadia Drive is a largely intact 1960s timber frame and fibro dwelling. The replacement doors and windows have minimal detrimental impact on the significance of the place. The design intent remains clearly discernible. The place also contributes to some of the post-war residential development in the area and is therefore representative of a broader class of place.

The place however is not an exemplar of its style; it does not demonstrate design excellence or technical achievement; it does not demonstrate landmark status; and has a weak connection to the community's sense of place. The retention of the place is not essential to the heritage or development history of the area.

The place is in a poor to fair condition. The fibro cladding is beginning to fail and if not addressed will become a health hazard. Many of the external panels are damaged and cover battens are missing. The roof

could not be fully assessed from street level but appears to be in a brittle and failing condition. The internal planning of the place has been considerably altered over time with the creation of one dwelling from what was originally two dwellings. Significant portions of the original internal fabric has been lost. Works are required to repair and upgrade internal finishes and fittings.

There will be a significant loss of original fabric to both repair the building and remove the ACMs that form all the external cladding and much of the internal wall linings.

Loss of original fabric will also impact on the heritage significance of no. 118 Arcadia Drive.

The degree of significance is determined by condition, integrity and authenticity. As outlined above, the condition is fair to poor.

In recent times there has been a redefining of the meanings of integrity and authenticity in heritage terms. Integrity now means the extent to which the fabric is in its original state and authenticity means the extent to which the original intention (function) is evident.

In these terms, the place currently presents with a moderate to high degree of integrity and a high degree of authenticity as it remains as a residential dwelling. However, should no. 118 Arcadia Drive be retained and repaired, the level of integrity will drop to low as all the extant cladding materials will be removed leaving very little of the original fabric left.

The City's planning policy requires that any alterations or extensions to a Category C place should *"reinforce the significance of the place and original fabric should be retained wherever feasible"*. It is not feasible, safe or recommended to retain the original fabric of no. 118 Arcadia Drive. Removing and replacing the original fibro (asbestos) cladding will be counter to this requirement as all original cladding will need to be replaced. Whilst the building may look similar if new cladding material

was introduced, the heritage significance of the place would be significantly reduced.

In terms of contribution to streetscape, no. 118 Arcadia Drive makes minimal contribution. The street does not present in a coherent manner and is not considered to be intact. Development ages of the buildings is wide, and the architectural styles varied. The scale and massing of the developments is also varied ranging from single storey small houses to multi-level higher density developments – there is no consistency of form.

The condition of many of the developments is excellent but there are several places that are in a poorer condition which have a negative impact on the overall character of the street. The relationship of the buildings to the natural environment is key to the essence of the area rather than the architectural quality of the street. The loss of no. 118 Arcadia Drive is not going to disrupt the quality of the street.

Therefore, due to the low level of heritage significance and the extent of repairs required, it is recommended that the owner be given approval to demolish no. 118 Arcadia Drive, Shoalwater. An archival record of the place can be prepared prior to demolition.